

FILE NAME: 2008016-0210.dwg/A1  
 DATE: 2008.11.25  
 DESCRIPTION: PARTIAL 1ST & 2ND FL. -SCOPE OF WORK & BUILDING CODE SUMMARY  
 PROJECT No: 2008-016-02  
 ADDRESS: 311 ROSS AVENUE

**BUILDING CODE SUMMARY:**

DIVISION B PART 3  
 NATIONAL BUILDING CODE 2005

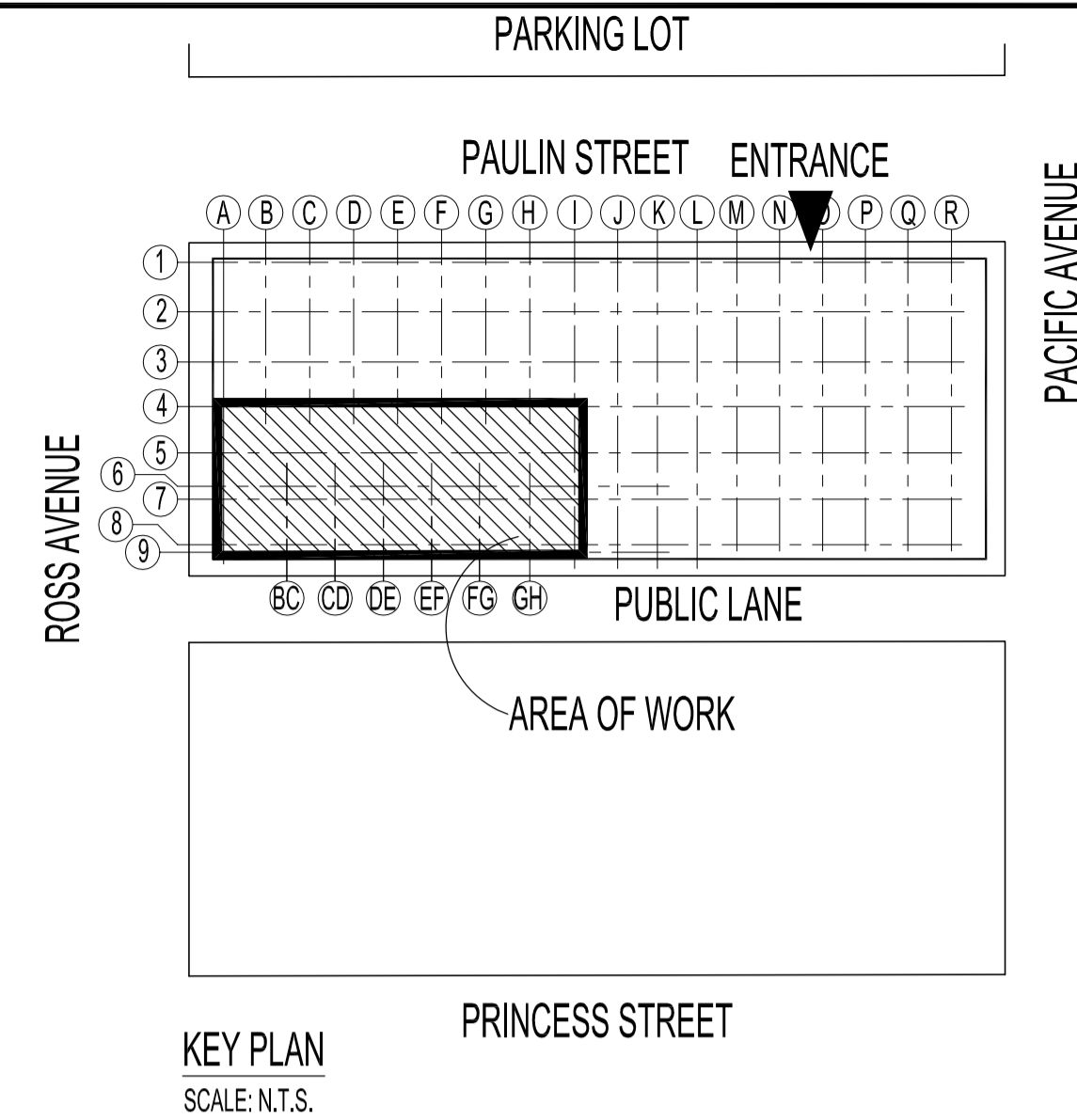
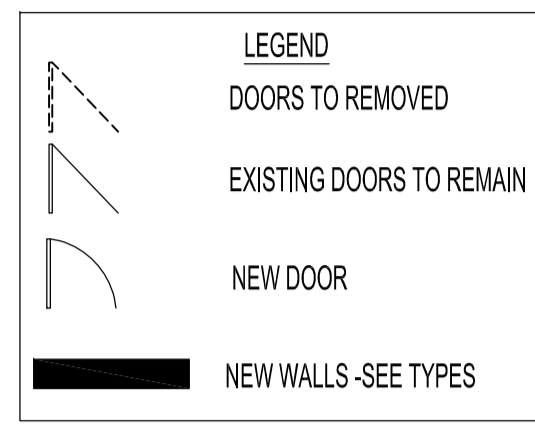
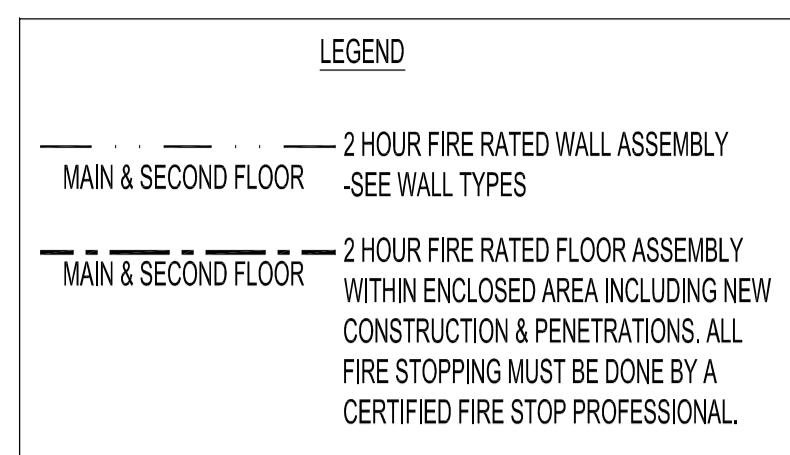
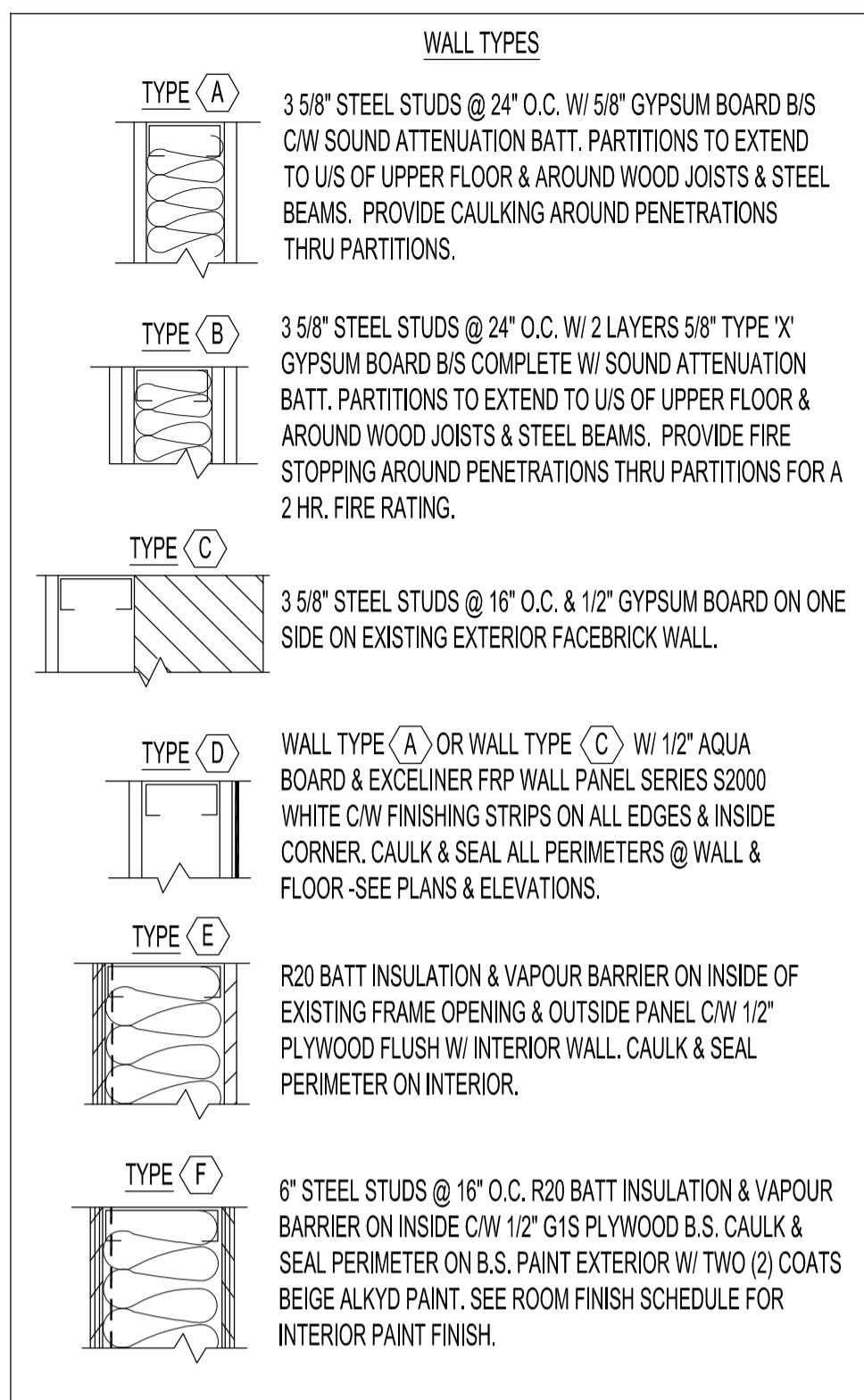
MAJOR OCCUPANCY - STORAGE GROUP F - DIVISION 2  
 AREA OF BUILDING - 23,235 SQ. FT. / 7082 sq. m.  
 SIX STOREY BUILDING - SPRINKLERED  
 NUMBER OF STREETS - FACING 3 STREETS  
 DESIGN OCCUPANCY LOAD - MAIN FLOOR - 18,681 SQ. FT. / 1735 sq. m.  
 1735 / 28 sq. m. PER PERSON = 62 PERSON  
 DESIGN OCCUPANCY LOAD - SECOND FLOOR - 18,681 SQ. FT. / 1735 sq. m.  
 1735 / 28 sq. m. PER PERSON = 62 PERSON  
 ACTUAL PERSON WORKING IN BUILDING - ONE SUPERVISOR OF MOVING & STORAGE OF FURNITURE AND NO MORE THAN 3 TO 4 CONTRACTED MOVERS.  
 SECOND FLOOR OCCUPANCY - NO MORE THAN 2-3 PERSON PART TIME, IN AND OUT OF THE FLOOR AREA AS REQUIRED FOR FILING AND RETRIEVING OF RECORDS.

BUILDING DESIGN:  
 SECTION 3.2 BUILDING FIRE SAFETY  
 3.2.2.67 GROUP F, DIVISION 2 ANY HEIGHT, ANY AREA SPRINKLERED.  
 BUILDING REQUIRED TO BE NON-COMBUSTIBLE  
 FLOOR ASSEMBLIES - FIRE SEPARATIONS WITH A FIRE RESISTANCE RATING NOT LESS THAN 2H.  
 LOAD BEARING WALL, COLUMNS AND ARCHES SHALL HAVE FIRE RESISTANCE RATING NOT LESS THAN 2H.  
 THE EXISTING FACILITY IS COMPRISED OF THREE DISTINCT SEPARATE BUILDINGS, CONSTRUCTED FROM 1899 TO 1946. BUILDING IS A COMBINATION OF COMBUSTIBLE AND NON-COMBUSTIBLE, SOME HEAVY TIMBER CONSTRUCTION.

3.3 SAFETY WITHIN AREA  
 3.3.1.21.3) JANITOR'S ROOM NOT REQUIRED TO HAVE FIRE RESISTANCE RATING - FLOOR AREA IS SPRINKLERED.

3.4 EXIT  
 3.4.2.1 - TWO EXITS ARE REQUIRED.  
 3.4.4 - EXIT ENCLOSURE SEPARATION HAVING A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED BY SUBSECTION 3.2.2-2H. TO MATCH FLOOR ASSEMBLY.  
 3.4.5.1 - EXIT SIGNS REQUIRED

3.7 WASHROOMS  
 MAIN FLOOR, NEW WASHROOMS - MALE - 1 WATER CLOSET, 1 URINAL  
 FEMALE - 2 WATER CLOSETS. ONE LAVATORY FOR MALE & FEMALE.  
 TABLE 3.7.2.2. C  
 (1735 m<sup>2</sup> / 28m<sup>2</sup> / 62 PERSON) 31 FEMALE & 31 MALE  
 WATER CLOSET FOR INDUSTRIAL OCCUPANCY - 2 WATER CLOSETS FOR EACH SEX  
 SECOND FLOOR - NEW WASHROOMS - MALE - 1 WATER CLOSET, 1 URINAL  
 FEMALE - 2 WATER CLOSETS. ONE LAVATORY FOR MALE AND FEMALE  
 BUILDING AND OCCUPANCY PERMIT WERE ISSUED IN DECEMBER OF 1999 FOR UPGRADING TO WAREHOUSE OCCUPANCY. FOLDER NO. 99 132432 000 00 CS



**NOTES :**

THESE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY ONESELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.

THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.

ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH UL/C APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.

ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.

WHERE NEW FLOORING AND BASE IS TO BE INSTALLED IN EXISTING AREAS (REFER TO FLOOR PLAN AND ROOM SCHEDULE) THE EXISTING FLOORING SURFACE AND BASE MUST BE REMOVED, UNLESS OTHERWISE NOTED. ALL FLOOR SURFACES SHALL BE PREPARED IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF NEW FLOOR.

WHERE PAINTING OF EXISTING WALLS IS INDICATED ON THE ROOM SCHEDULE, THESE WALLS MUST BE CLEANED OF ANY EXISTING WALL COVERING, PATCHED & PREPARED TO ACCEPT NEW MATERIAL, UNLESS OTHERWISE NOTED.

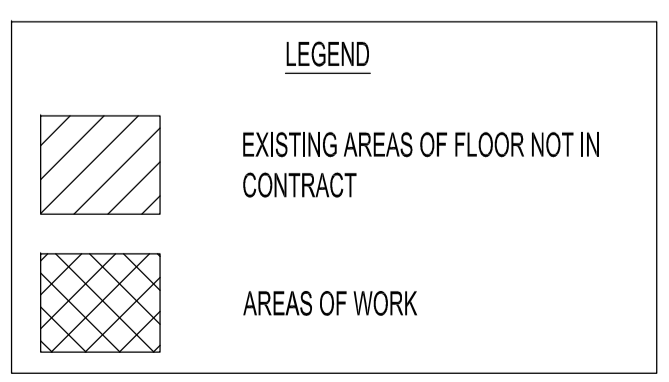
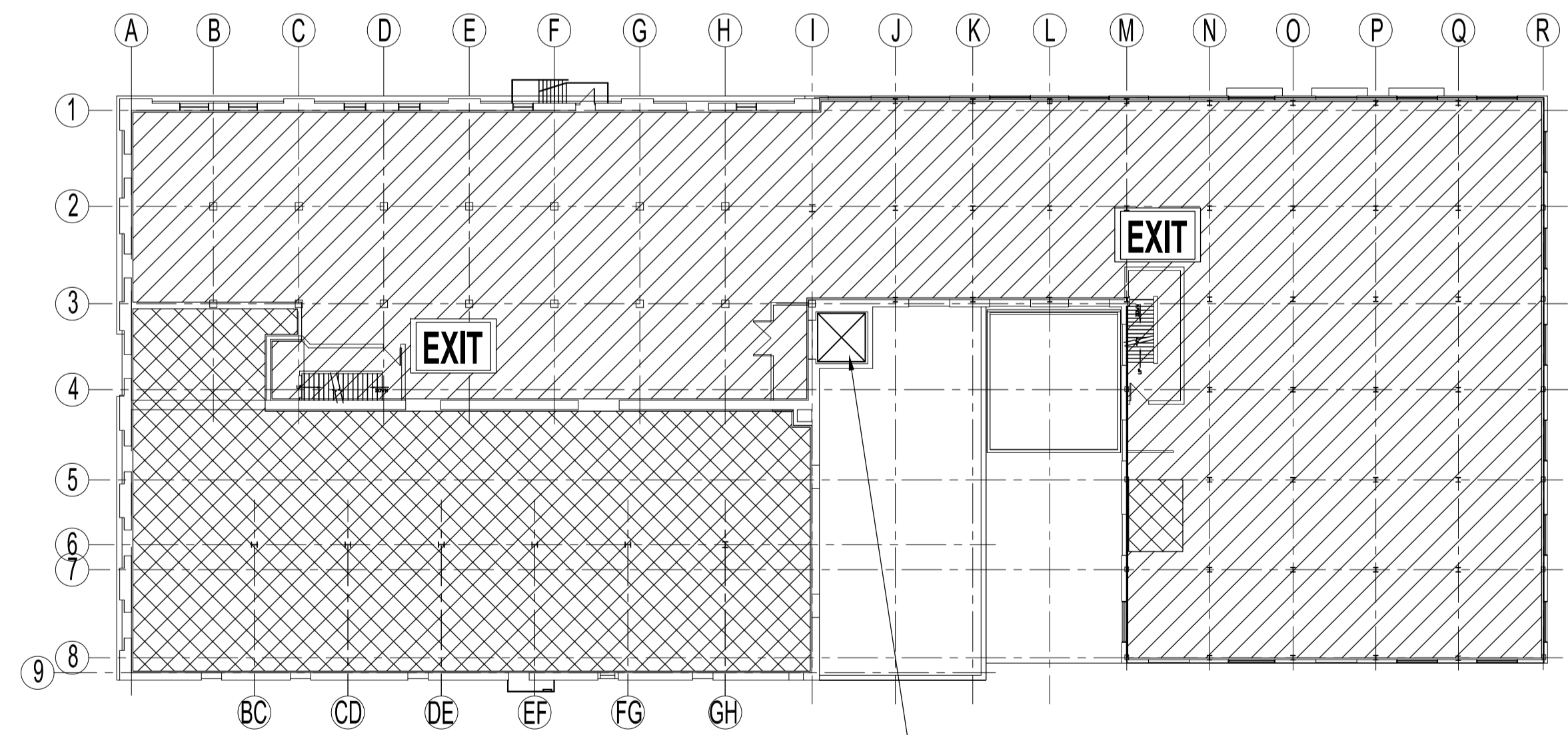
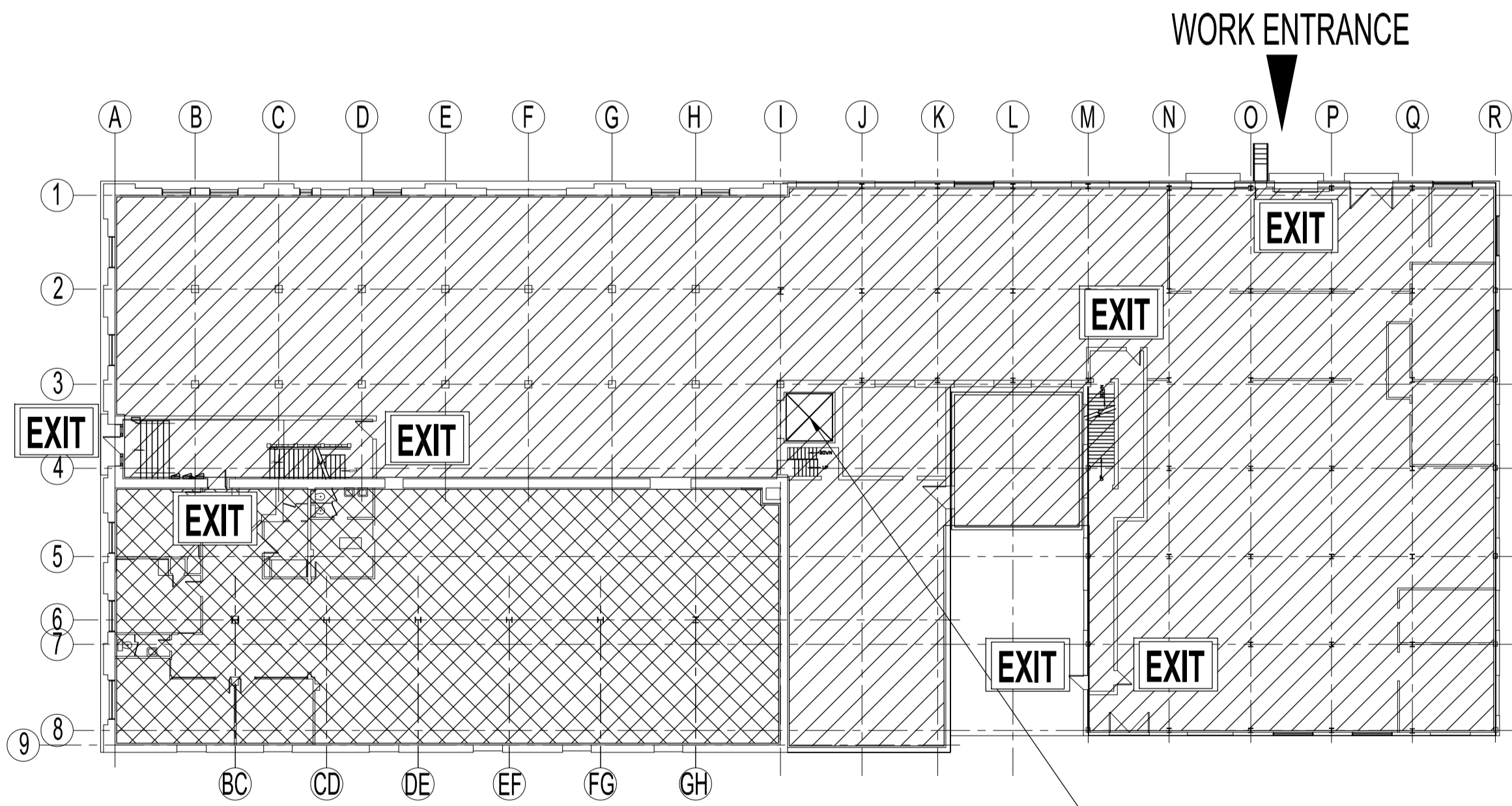
ALL SPRINKLER HEADS & LINES ARE TO BE PROTECTED DURING DEMOLITION & RENOVATION. SPRINKLER LINES MAY BE TURNED OFF FOR PARTICULAR ZONES DURING WORKING HOURS. SEE CONTRACT ADMINISTRATOR.

SEE ELECTRICAL DWG. FOR LIGHTING PLAN.

FLOOR SURFACES, WALL & CEILINGS CONTAIN LEAD PAINT - WORK MUST BE PERFORMED FOLLOWING ESTABLISHED PROVINCIAL / FEDERAL GUIDELINES FOR SAFE HANDLING OF LEAD CONTAMINATED MATERIALS.

**DRAWING LIST**

SHEET No:	SHEET TITLE
A1	PARTIAL MAIN & SECOND FLOOR PLANS - SCOPE OF WORK & BUILDING CODE SUMMARY
A2	PARTIAL MAIN FLOOR PLAN - DEMOLITION & RENOVATION
A3	PARTIAL SECOND FLOOR PLAN - FLOOR & WALL DEMOLITION / RENOVATION
A4	PARTIAL SECOND FLOOR PLAN - REFLECTED CEILING DEMOLITION
A5	PARTIAL SECOND FLOOR PLAN RENOVATION
A6	PARTIAL MAIN & SECOND FLOOR PLANS - FLOOR FINISH
A7	WASHROOM & JANITOR ELEVATIONS, DOOR & ROOM FINISH SCHEDULES, DETAILS & FINISHES
ME1	PARTIAL MAIN & SECOND FLOOR PLANS - DEMOLITION MECHANICAL & ELECTRICAL
M1	PARTIAL MAIN & SECOND FLOOR PLANS - RENOVATION MECHANICAL
M2	PARTIAL FLOOR PLANS & ELEVATIONS - RENOVATION MECHANICAL / PLUMBING
M3	MECHANICAL PLUMBING SPECIFICATIONS
E1	PARTIAL MAIN & SECOND FLOOR PLANS - RENOVATION ELECTRICAL LIGHTING
E2	PARTIAL MAIN & SECOND FLOOR PLANS - RENOVATION ELECTRICAL POWER & SYSTEMS
E3	ELECTRICAL SPECIFICATIONS



ORIGINAL STAMPED BY: R.K.FOK LI Arch.  
 DATE: 2008.12.02

NO.	REVISION/DESCRIPTION	BY	DATE
SEALS			

DRAWN BY: MKK  
 CHECKED BY: USER APPROVAL  
 DATE: 2008.06.05

CITY OF WINNIPEG  
 PLANNING, PROPERTY AND DEVELOPMENT DEPARTMENT  
 CIVIC ACCOMMODATIONS DIVISION  
 300 - 65 GARRY ST. R3C 4K4

PROJECT  
 SURPLUS STORAGE FACILITY  
 MAIN & SECOND FLOOR RENOVATION

311 ROSS AVENUE

SHEET TITLE  
 PARTIAL MAIN & SECOND FLOOR PLANS  
 SCOPE OF WORK &  
 BUILDING CODE SUMMARY

SCALE	PROJECT NO.	SHEET NO.
AS SHOWN	2008-016-02	A1