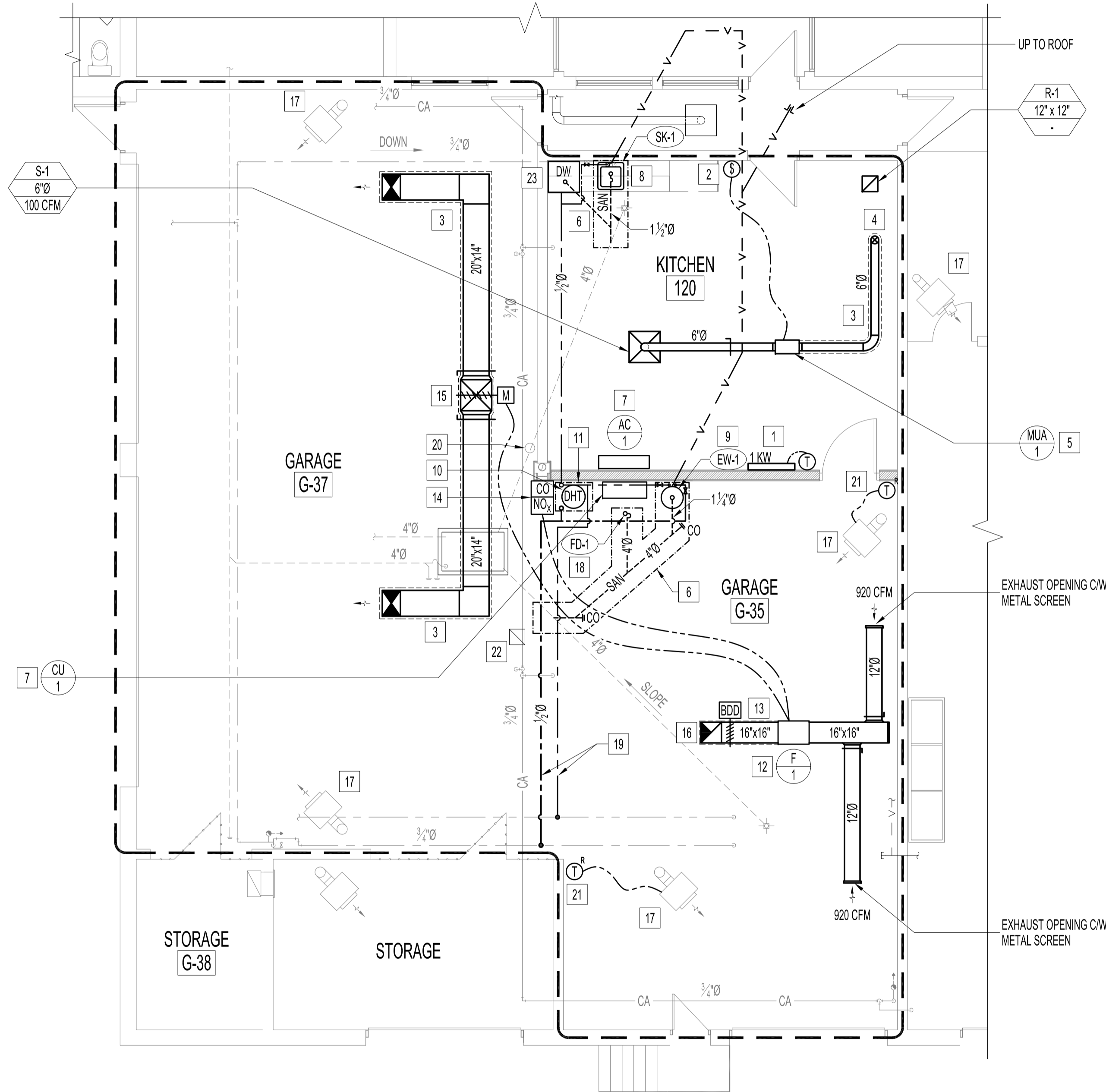
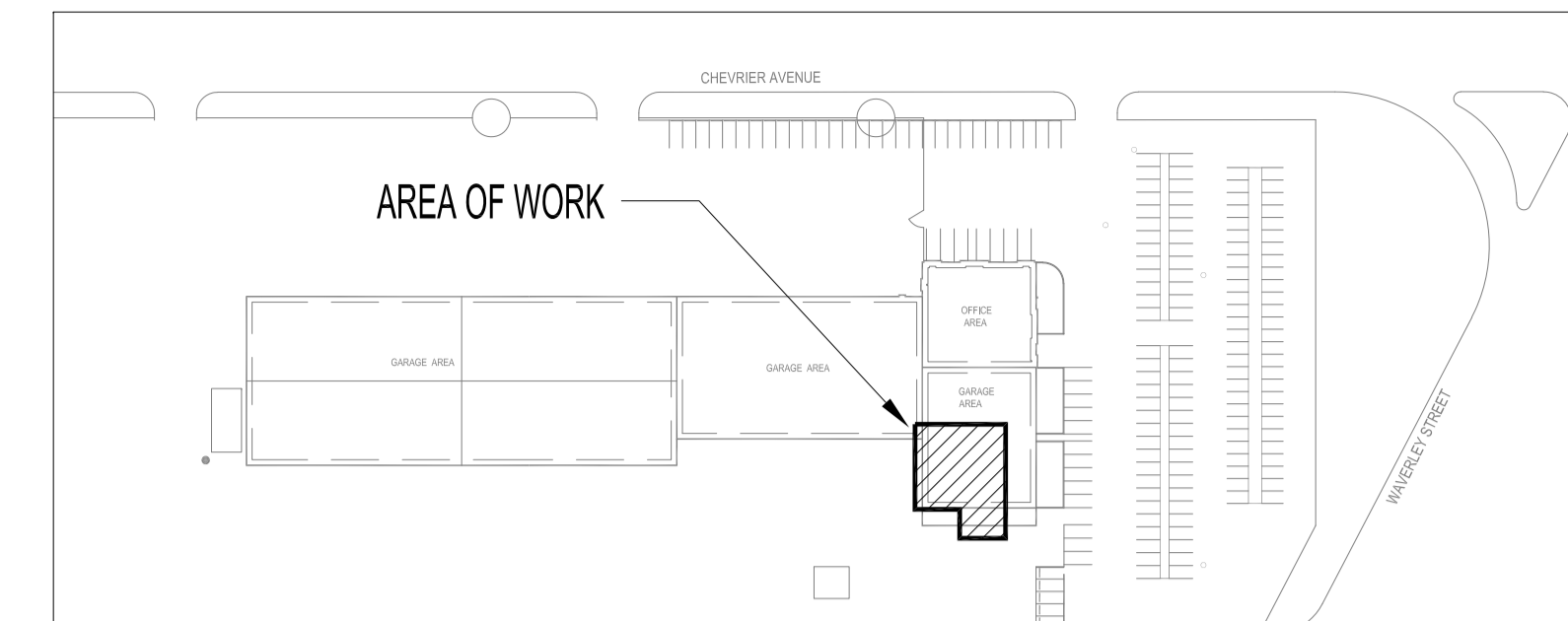


PLUMBING FIXTURE CONNECTION SIZES						
TAG	SANITARY in.	DCW in.	DHW in.	TW in.	TRAP in.	NOTE
SINK	1.5	0.5	0.5	-	1.5	
EYE WASH	1.25	-	-	0.5	1.25	



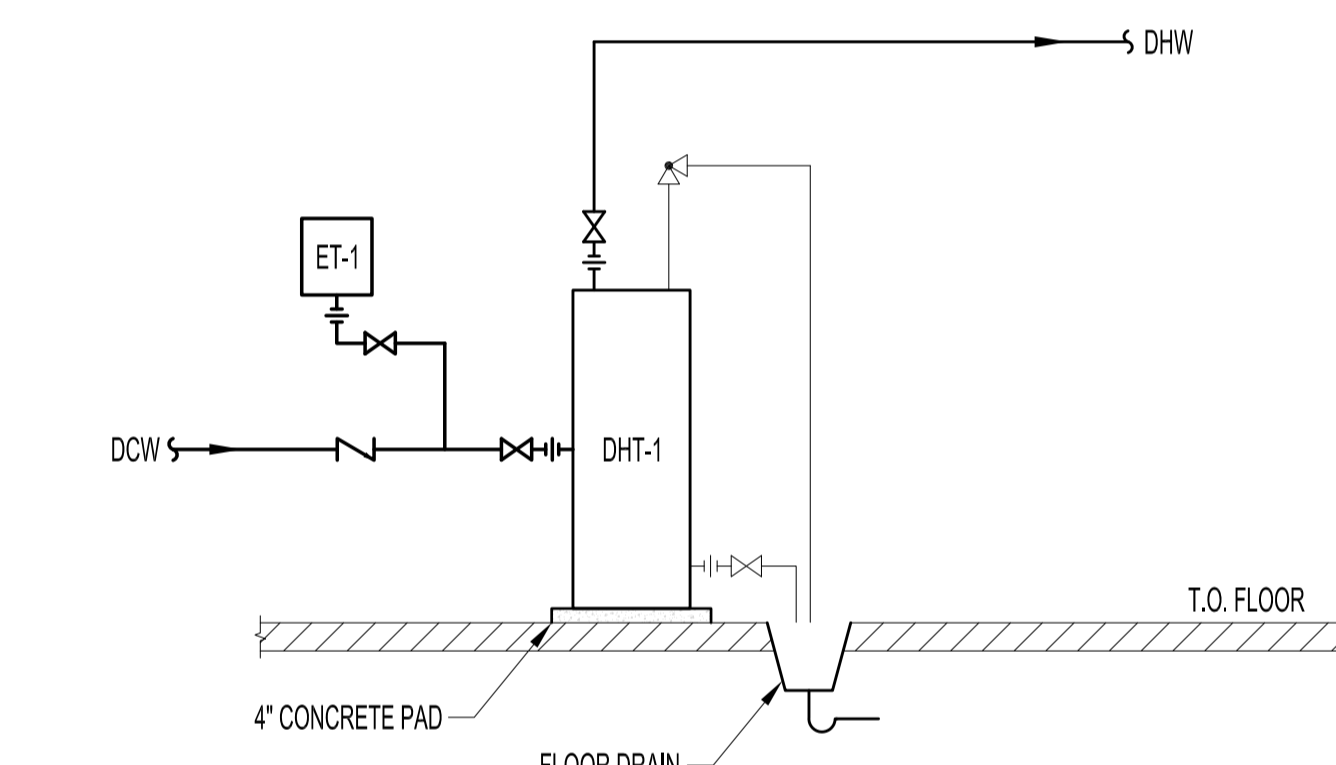
PARTIAL MAIN FLOOR PLAN - MECHANICAL RENOVATION
 3/16" = 1'-0"



KEY PLAN
 SCALE: NTS

PARTIAL MAIN FLOOR PLAN - MECHANICAL RENOVATION NOTES:

- 1 NEW ELECTRIC BASEBOARD HEATER 1KW. SEE ELECTRICAL.
- 2 NEW MINI MAKE-UP AIR UNIT CONTROLLER.
- 3 INSULATE FRESH AIR INTAKE DUCT WITH 2" FIBER GLASS.
- 4 CONNECT NEW 6" FRESH AIR INTAKE DUCT TO EXISTING FRESH AIR INTAKE DUCT/HOOD. INSULATE EXISTING DUCT WITH 2" FIBER GLASS.
- 5 NEW MINI MAKE-UP AIR UNIT SUSPENDED IN THE CEILING SPACE.
- 6 NEW UNDERSLAB SANITARY LINE. FLOOR SLAB IS ASSUMED TO BE 6" THICK SLAB ON COMPACTED GRANULAR FILL. DRILL PILOT HOLES TO CONFIRM PRESENCE OF GRANULAR BASE MATERIAL UNDER SLAB. SAWCUT TRENCH AS REQUIRED FOR INSTALLATION OF NEW SANITARY LINE (APPROXIMATELY 24" WIDE). AFTER INSTALLATION OF NEW DRAIN LINE AND CONNECTION TO EXISTING, FILL TRENCH WITH GRANULAR FILL PLACED AND COMPACTED IN 6" LIFTS. DRILL AND EPOXY GROUT NEW 24" LONG 10M DOWELS 6" INTO EXISTING SLAB AT @ 12" O.C. AROUND PERIMETER OF TRENCH. POUR NEW SLAB (THICKNESS TO MATCH EXISTING) WITH 25 MPa CONCRETE.
- 7 NEW SPLIT AIR CONDITIONER INDOOR/OUTDOOR UNIT. CONDENSATE DRAIN TO ADJACENT FLOOR DRAIN IN GARAGE.
- 8 NEW COUNTERTOP KITCHEN SINK (SK-1).
- 9 NEW EYE WASH STATION.
- 10 RE-INSTALLED EXISTING DOMESTIC HOT WATER TANK.
- 11 4" CONCRETE SERVICE PAD.
- 12 NEW EXHAUST FAN SUSPENDED FROM STRUCTURE. INTERLOCK F-1 TO THE FRESH AIR INTAKE MOTORIZED DAMPER.
- 13 INSULATE EXHAUST DUCTWORK WITH 1" FIBER GLASS.
- 14 NEW CO/NOx SENSOR TO CONTROL EXHAUST FAN (F-1). INSTALLATION TO FOLLOW MANUFACTURER'S RECOMMENDATION.
- 15 NEW 24"x24" FRESH AIR INTAKE DUCT TO CONNECT TO THE EXISTING FRESH AIR INTAKE DUCT/HOOD.
- 16 REMOVE EXISTING EXHAUST DUCT AND ROOF EXHAUST HOOD. NEW 16"x16" EXHAUST DUCT TO CONNECT TO THE NEW EXHAUST HOOD ON THE ROOF.
- 17 EXISTING UNIT HEATER TO REMAIN.
- 18 NEW FLOOR DRAIN.
- 19 NEW 1/2" DOMESTIC COLD WATER AND HOT WATER LINE CONNECTED TO EXISTING.
- 20 INSULATE EXISTING ROOF DRAIN LINE 2 FT. FROM ROOF AT THIS LOCATION.
- 21 RELOCATED UNIT HEATER THERMOSTAT. SEE ELECTRICAL.
- 22 INSULATE EXISTING DUCTWORK CAP WITH 2" FIBERGLASS.
- 23 PROVIDE HOT WATER TO THE NEW DISHWASHER. CONNECT DISHWASHER DRAIN TO ADJACENT SINK DRAIN TRAP.



HOT WATER TANK DETAIL
 SCALE: NTS

NOTES:
 THESE DRAWINGS SHALL NOT BE SCALED.
 THIS DRAWING IS DIAGRAMMATIC ONLY. CONTRACTOR TO COORDINATE EXACT LOCATIONS OF AND ROUTING ON SITE WITH ALL NEW AND EXISTING SYSTEM.
 THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF ALL DIMENSIONS, DATUM, AND DETAILED INFORMATION SHOWN ARE CORRECT.
 THE CONTRACTOR IS TO REVIEW AND COORDINATE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL OPENINGS THROUGH FLOORS, WALLS, AND CEILINGS FOR DUCT, PIPE & ELECTRICAL RISERS AND ALL OPENINGS NOT SHOWN ON DRAWINGS.
 ALL OPENINGS THROUGH FIRE ASSEMBLIES ARE TO BE FIRE STOPPED AND SEALED WITH ULC APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION, AND PROVIDE A SMOKE-TIGHT BARRIER.
 ALL PRODUCTS AND MATERIALS TO BE USED AND INSTALLED SHALL CONFORM WITH MANUFACTURER'S SPECIFICATIONS & APPLICABLE CODES.
 NEW DUCT SHALL BE CONSTRUCTED AS RECOMMENDED BY SMACNA.
 INSULATE EXISTING AND NEW CONDITIONAL AIR DUCT IN THE RENOVATED AREAS AS PER SPECIFICATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO PATCH AND MAKE GOOD ALL EXISTING CONSTRUCTION AFFECTED BY THE REMOVAL OF ALL ITEMS FORMING THE PART OF THE RENOVATION WORK.
 PLUMBING INSTALLATION SHALL CONFORM TO NATIONAL PLUMBING CODE OF CANADA.
 INSULATE EXISTING AND NEW HOT, COLD AND RE-CIRCULATION PIPING IN THE RENOVATED AREAS AS PER SPECIFICATIONS.
 THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING RISERS, SWING JOINTS AND DEEP CUP ESCUTCHEONS AS REQUIRED.
 INSULATE EXISTING AND NEW DOMESTIC COLD AND HOT WATER LINE IN THE RENOVATION AREA AS PER SPECS.
 ELECTRICAL WIRING SHALL BE PERFORMED BY A QUALIFIED ELECTRICAL SUBTRADE.
 ASBESTOS IS KNOWN TO BE PRESENT IN SOME WALLS AND VINYL TILE FLOOR BENEATH CARPET. ABATEMENT TO PRECEED START OF DEMOLITION. ASBESTOS MAY BE PRESENT IN OTHER AREAS. IF ASBESTOS OR ANY HAZARDOUS MATERIAL IS FOUND, STOP WORK IMMEDIATELY AND CONTACT CITY OF WINNIPEG, CENTRAL CONTROL, PH: 204-986-2351.

No.	REVISION/DESCRIPTION	BY	DATE
0	ISSUED FOR CONSTRUCTION	EAG	SEPT 12 2019



DRAWN	EAG	CHECKED	DESIGNED	APPROVED
DATE	2019.09.12	USER	APPROVAL	

THE CITY OF WINNIPEG
 PLANNING, PROPERTY AND
 DEVELOPMENT DEPARTMENT
 MUNICIPAL ACCOMMODATIONS DIVISION
 3-65 GARRY STREET, R3C 4K4

PROJECT
 PUBLIC WORKS SOUTH YARD
 INTERIOR RENOVATIONS

1539 WAVERLEY STREET
 BID OPP: 944-2019

SHEET TITLE
 PARTIAL MAIN FLOOR PLAN
 MECHANICAL RENOVATION

SCALE	PROJECT No:	SHEET No:
AS SHOWN	2018-018	M3