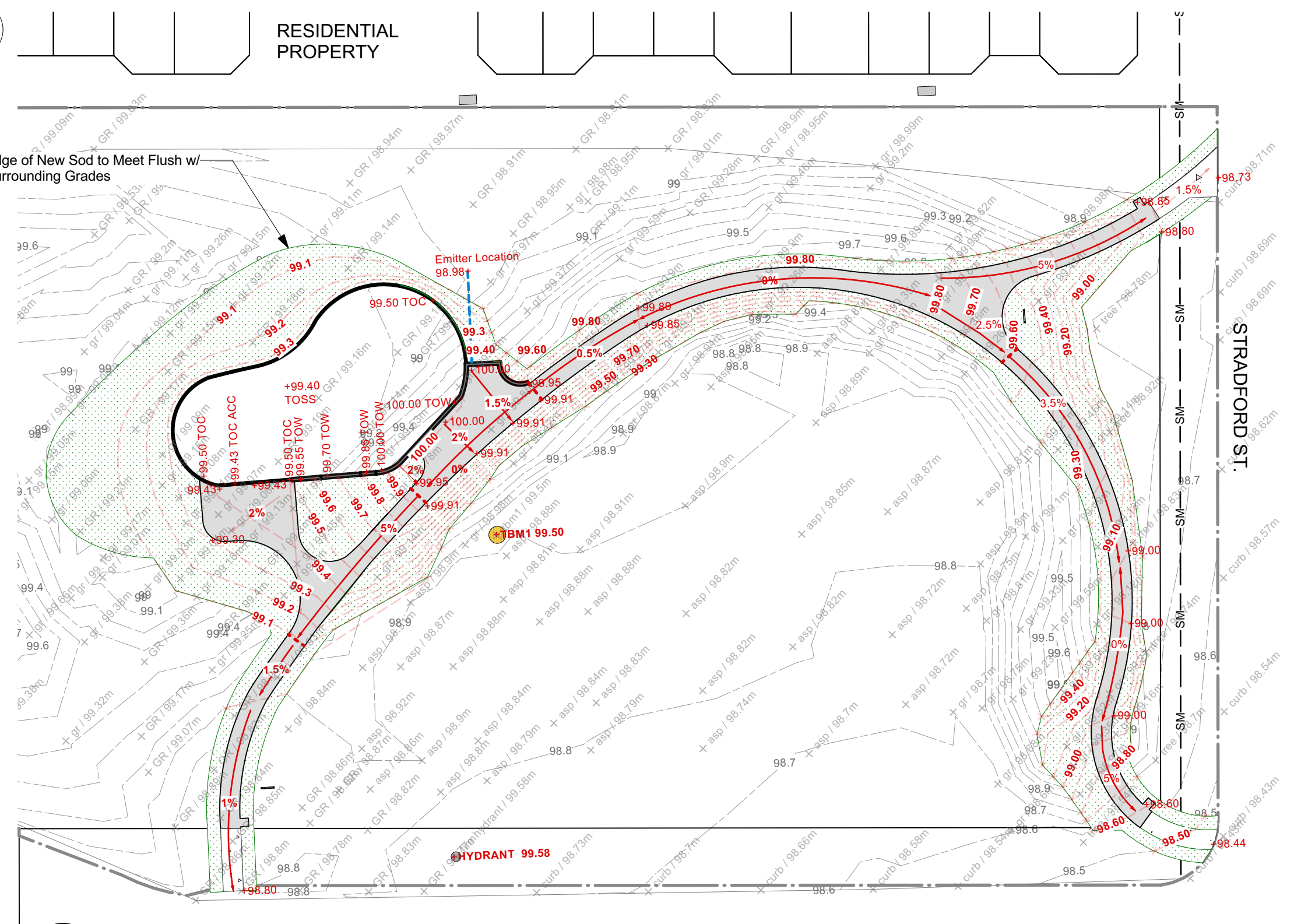


RESIDENTIAL PROPERTY

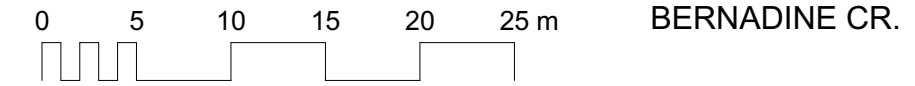
Edge of New Sod to Meet Flush w/
Surrounding Grades



NOTES

- + gr / 99.17m Existing Elevation
- +TBM1 99.50 Benchmark Elevation
- 1.5% Proposed Slope
- x 99.1 x Proposed Contour
- TOC Top of Concrete Play Edging
- TOC ACC Top of Accessible Opening
- TOW Top of Retaining Wall
- TOSS Top of Safety Surface
- +98.80 Proposed Elevation
- Line of Slope Change
- Max. pathway slope 5%
- Max. crossfall 2%
- Benchmark 1: Centre of Top of Water Service Cover
- Benchmark 2: Center of Manhole Cover
- Hydrant Elevation Taken from Top Nut

1 Grading Plan
Scale: 1:400



CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. LOCATION OF UNDERGROUND STRUCTURES AS SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE BUT NO GUARANTEE IS GIVEN THAT ALL EXISTING UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL SERVICES MUST BE OBTAINED FROM THE INDIVIDUAL UTILITIES BEFORE PROCEEDING WITH CONSTRUCTION.

THE CITY OF WINNIPEG
Planning, Property and Development Department
Planning and Land Use Division
Unit 15 - 30 Fort Street, Winnipeg, MB, (R3C 4X5)

DESIGNED BY	IM	CHECKED BY	
DRAWN BY	IM	APPROVED BY	
HORIZ. SCALE	1:400		
VERT. SCALE			
DATE	Jan 2021		

MANAGER, PARK AND OPEN SPACES	DATE
MANAGER, PLANNING AND LAND USE DIVISION	DATE

DRAWING TITLE	DRAWING NO.
Bernadine Stradford Park Playground Redevelopment Grading Plan	B.58-D4
SITE ADDRESS 10 Stradford St	BID OPPORTUNITY NO. 61-2021