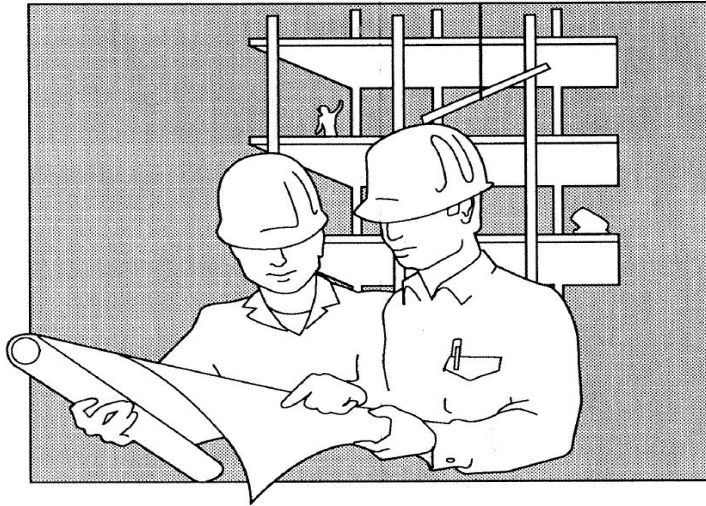


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

MARCH 2016

This Month At A Glance:

Number of permits issued

| | |
|--|------|
| Residential | 511 |
| Non-Residential | 232 |
| Total | 743 |
| Compared to this month last year | +35% |

Value of permits issued

| | |
|--|---------------|
| Residential | \$57,064,199 |
| Non-Residential | \$117,902,768 |
| Total | \$174,966,967 |
| Compared to this month last year | +50% |

Dwelling Units

| | |
|-------------------|-----|
| Constructed | 257 |
| Demolished | 12 |

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

| BUILDING TYPE | VALUE IN \$000 | | | | | | NUMBER OF PERMITS ISSUED | | | | | |
|-------------------------------|----------------|----------------|-------------|----------------|----------------|------------|--------------------------|------------|------------|--------------|--------------|------------|
| | MONTH | | | YEAR TO DATE | | | MONTH | | | YEAR TO DATE | | |
| | 2016 | 2015 | Change | 2016 | 2015 | Change | 2016 | 2015 | Change | 2016 | 2015 | Change |
| Residential | | | | | | | | | | | | |
| Single | 32,270 | 26,624 | 21% | 78,210 | 72,141 | 8% | 131 | 108 | 21% | 325 | 280 | 16% |
| Semi | 3,206 | 2,213 | 45% | 7,835 | 5,653 | 39% | 16 | 13 | 23% | 45 | 41 | 10% |
| Row | 9,811 | 3,357 | 192% | 18,242 | 7,489 | 144% | 71 | 24 | 196% | 123 | 59 | 108% |
| Apartment | 3,324 | 18,700 | -82% | 29,374 | 44,560 | -34% | 2 | 6 | -67% | 10 | 12 | -17% |
| Alterations/Additions/Demos | 8,454 | 9,096 | -7% | 19,758 | 32,441 | -39% | 291 | 180 | 62% | 791 | 423 | 87% |
| Total, Residential | 57,064 | 59,990 | -5% | 153,418 | 162,284 | -5% | 511 | 331 | 54% | 1,294 | 815 | 59% |
| Non-Residential | | | | | | | | | | | | |
| Alterations/Additions/Demos | 51,815 | 27,572 | 88% | 101,361 | 108,776 | -7% | 220 | 210 | 5% | 563 | 597 | -6% |
| Commercial | 1,535 | 3,031 | -49% | 6,615 | 7,381 | -10% | 2 | 2 | 0% | 8 | 5 | 60% |
| Industrial | 50 | 9,972 | -100% | 49,295 | 11,952 | 312% | 1 | 4 | -75% | 12 | 12 | 0% |
| Office | 51,493 | 3,580 | 1338% | 52,593 | 3,580 | 1369% | 3 | 2 | 50% | 5 | 2 | 150% |
| Hotel/Motel | 0 | 0 | 0% | 0 | 0 | 0% | 0 | 0 | 0% | 0 | 0 | 0% |
| Public Buildings/Theatres | 551 | 3,000 | -82% | 10,751 | 3,000 | 258% | 4 | 1 | 300% | 5 | 3 | 67% |
| Institutional | 12,460 | 9,640 | 29% | 12,460 | 9,640 | 29% | 2 | 2 | 0% | 2 | 2 | 0% |
| Total, Non-Residential | 117,903 | 56,794 | 108% | 233,074 | 144,328 | 61% | 232 | 221 | 5% | 595 | 621 | -4% |
| Total | 174,967 | 116,785 | 50% | 386,492 | 306,612 | 26% | 743 | 552 | 35% | 1,889 | 1,436 | 32% |

■ Permit Value by Building Type and Community

| BUILDING TYPE | YEAR TO DATE VALUE IN \$000 | | | | | |
|-------------------------------|-----------------------------|---------------|--------------------------------|-----------------------------|----------------|----------------|
| | CITY CENTRE | ASSINIBOIA | LORD SELKIRK- WEST KILDONAN | EAST KILDONAN- TRANSCONA | RIEL | TOTAL CITY |
| Residential | | | | | | |
| Single | 2,705 | 10,848 | 12,177 | 11,595 | 40,886 | 78,210 |
| Semi | 0 | 0 | 3,848 | 994 | 2,993 | 7,835 |
| Row | 7,851 | 0 | 2,420 | 3,880 | 4,091 | 18,242 |
| Apartment | 17,100 | 0 | 3,500 | 0 | 8,774 | 29,374 |
| Alterations/Additions/Demos | 4,815 | 2,818 | 4,327 | 1,943 | 5,855 | 19,758 |
| Total, Residential | 32,471 | 13,665 | 26,272 | 18,412 | 62,598 | 153,418 |
| Non-Residential | | | | | | |
| Alterations/Additions/Demos | 30,824 | 16,989 | 41,636 | 4,342 | 7,570 | 101,361 |
| Commercial | 1,495 | 400 | 1,600 | 0 | 3,120 | 6,615 |
| Industrial | 0 | 66 | 1,865 | 0 | 47,364 | 49,295 |
| Office | 3,900 | 0 | 48,693 | 0 | 0 | 52,593 |
| Hotel/Motel | 0 | 0 | 0 | 0 | 0 | 0 |
| Public Buildings/Theatres | 0 | 0 | 10,200 | 26 | 525 | 10,751 |
| Institutional | 0 | 12,460 | 0 | 0 | 0 | 12,460 |
| Total, Non-Residential | 36,219 | 29,914 | 103,993 | 4,368 | 58,579 | 233,074 |
| Total, 2016 | 68,690 | 43,580 | 130,265 | 22,780 | 121,178 | 386,492 |
| Total, 2015 | 44,571 | 52,970 | 48,224 | 79,316 | 81,531 | 306,612 |
| Change | 54% | -18% | 170% | -71% | 49% | 26% |

COMMUNITY ANALYSIS

■ Permit Activity by Community

| COMMUNITY | VALUE IN \$000 | | | | | | NUMBER OF PERMITS ISSUED | | | | | |
|----------------------------|----------------|----------------|------------|----------------|----------------|------------|--------------------------|------------|------------|--------------|--------------|------------|
| | MONTH | | | YEAR TO DATE | | | MONTH | | | YEAR TO DATE | | |
| | 2016 | 2015 | Change | 2016 | 2015 | Change | 2016 | 2015 | Change | 2016 | 2015 | Change |
| City Centre | 23,201 | 18,675 | 24% | 68,690 | 44,571 | 54% | 177 | 120 | 48% | 375 | 297 | 26% |
| Assiniboia | 28,475 | 17,036 | 67% | 43,580 | 52,970 | -18% | 112 | 84 | 33% | 387 | 222 | 74% |
| Lord Selkirk-West Kildonan | 86,481 | 26,947 | 221% | 130,265 | 48,224 | 170% | 109 | 96 | 14% | 334 | 229 | 46% |
| East Kildonan-Transcona | 9,806 | 21,849 | -55% | 22,780 | 79,316 | -71% | 139 | 86 | 62% | 284 | 216 | 31% |
| Riel | 27,003 | 32,277 | -16% | 121,178 | 81,531 | 49% | 206 | 166 | 24% | 509 | 472 | 8% |
| Total | 174,967 | 116,785 | 50% | 386,492 | 306,612 | 26% | 743 | 552 | 35% | 1,889 | 1,436 | 32% |

■ Construction of Residential Dwelling Units

| COMMUNITY | MONTH | | | | | | | | YEAR TO DATE | | | | | | | |
|----------------------------|------------|-----------|-----------|-----------|------------|-------------|------------|-------------|--------------|-----------|------------|------------|------------|-------------|------------|------------|
| | Single | Semi | Row | Apt | Total | % of Total | 2015 | Change | Single | Semi | Row | Apt | Total | % of Total | 2015 | Change |
| City Centre | 4 | 0 | 50 | 0 | 54 | 21% | 4 | 1250% | 11 | 0 | 54 | 9 | 74 | 12% | 6 | 1133% |
| Assiniboia | 18 | 0 | 0 | 0 | 18 | 7% | 77 | -75% | 39 | 0 | 0 | 0 | 39 | 6% | 145 | -73% |
| Lord Selkirk-West Kildonan | 19 | 4 | 0 | 18 | 41 | 16% | 84 | -51% | 57 | 24 | 17 | 18 | 116 | 19% | 120 | -3% |
| East Kildonan-Transcona | 22 | 6 | 23 | 0 | 51 | 20% | 27 | 89% | 60 | 6 | 23 | 0 | 89 | 14% | 130 | -32% |
| Riel | 68 | 6 | 16 | 3 | 93 | 36% | 118 | -21% | 157 | 16 | 34 | 89 | 296 | 48% | 249 | 19% |
| Total | 131 | 16 | 89 | 21 | 257 | 100% | 310 | -17% | 324 | 46 | 128 | 116 | 614 | 100% | 650 | -6% |
| % of Total | 51% | 6% | 35% | 8% | 100% | | | | 53% | 7% | 21% | 19% | 100% | | | |
| Total, 2015 | 108 | 14 | 21 | 167 | 310 | | | | 280 | 40 | 56 | 274 | 650 | | | |
| Change | 21% | 14% | 324% | -87% | -17% | | | | 16% | 15% | 129% | -58% | -6% | | | |

■ Demolition of Residential Dwelling Units

| SUMMARY | MONTH | | | | | YEAR TO DATE | | | | |
|--------------------|--------|------|-------|-----|-------|--------------|------|-------|-------|-------|
| | SINGLE | SEMI | ROW | APT | TOTAL | SINGLE | SEMI | ROW | APT | TOTAL |
| Total, 2016 | 10 | 2 | 0 | 0 | 12 | 30 | 3 | 0 | 0 | 33 |
| % of Total | 83% | 17% | 0% | 0% | 100% | 91% | 9% | 0% | 0% | 100% |
| Total, 2015 | 14 | 1 | 1 | 0 | 16 | 28 | 6 | 1 | 23 | 58 |
| Change | -29% | 100% | -100% | 0% | -25% | 7% | -50% | -100% | -100% | -43% |

■ Major Projects

| ADDRESS | BUILDING PERMIT DESCRIPTION | | VALUE (\$) |
|----------------------|-----------------------------------|----------------------|------------|
| 317 Donald ST | Interior Alteration | Office | 598,978 |
| 790 Sherbrook ST | Partial Permit-Foundation | Medical Office | 15,216,411 |
| 790 Sherbrook ST | Partial Permit-Struct. Frame | Medical Office | 33,476,104 |
| 39 Trailside CRES | Construct New | SFD & Att. Gar. | 538,408 |
| 391 York AVE | Interior Alteration | Office | 1,268,402 |
| 150 Austin ST | Construct New | Apartments | 3,000,000 |
| 255 Peguis ST | Partial Permit-Foundation | Row Housing | 1,000,000 |
| 255 Peguis ST | Partial Permit-Struct. Frame | Row Housing | 1,080,000 |
| 2132 McPhillips ST | Interior and Exterior Alterations | Supermarket | 2,500,000 |
| 1080 Grant AVE | Interior and Exterior Alterations | Retail Store | 3,500,000 |
| 255 Peguis ST | Construct New | Row Housing | 540,000 |
| 31 Beddington ST | Construct New | SFD & Att. Gar. | 574,980 |
| 1194 Wellington CRES | Construct New | SFD & Att. Gar. | 600,000 |
| 336 William AVE | Interior and Exterior Alterations | Commercial | 568,079 |
| 220 Portage AVE | Interior and Exterior Alterations | Office | 650,000 |
| 1200 Grant AVE | Construct New | Credit Union | 1,134,887 |
| 15 Dallinger DR | Construct New | SFD & Att. Gar. | 550,000 |
| 70 Sunstone BAY | Construct New | SFD & Att. Gar. | 500,000 |
| 14 Camira WAY | Construct New | SFD & Att. Gar. | 550,200 |
| 135 Niakwa RD | Interior Alteration | Apartments | 1,217,663 |
| 133 Niakwa RD | Interior Alteration | Apartments | 1,217,663 |
| 150 Beghin AVE | Interior and Exterior Alterations | Warehouse | 500,000 |
| 140 Panet RD | Interior and Exterior Alterations | Warehouse | 750,000 |
| 1399 McPhillips ST | Construct Addition | Supermarket | 3,000,409 |
| 850 St James ST | Construct Addition | Shopping Centre | 3,500,000 |
| 161 Portage AVE | Interior Alteration | Office | 650,000 |
| 360 Main ST | Alter Exterior | Office | 20,000,000 |
| 751 Park BLVD | Fire Repair | SFD & Att. Gar. | 670,000 |
| 421 Osborne ST | Interior and Exterior Alterations | Bus Terminal | 750,000 |
| 930 Lorimer BLVD | Interior Alteration | Medical Office | 2,500,000 |
| 940 Elmhurst RD | Interior and Exterior Alterations | Church | 500,000 |
| 7 Evergreen PL | Interior Alteration | Office | 500,000 |
| 175 Mayfair AVE | Partial Permit-Foundation | Office | 2,800,000 |
| 2055 Notre Dame AVE | Partial Permit-Struct. Frame | University / College | 12,000,000 |