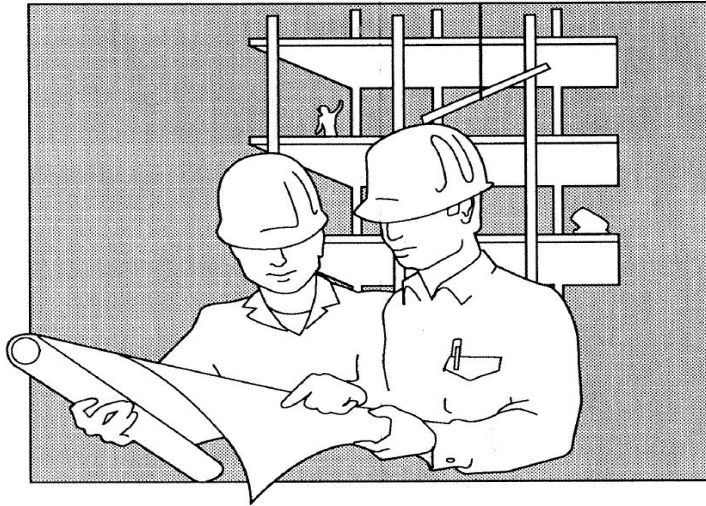


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

APRIL 2016

This Month At A Glance:

Number of permits issued

Residential	492
Non-Residential	287
Total	779
Compared to this month last year	+7%

Value of permits issued

Residential	\$64,476,347
Non-Residential	\$190,552,817
Total	\$255,029,164
Compared to this month last year	+142%

Dwelling Units

Constructed	202
Demolished	15

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2016	2015	Change	2016	2015	Change	2016	2015	Change	2016	2015	Change
Residential												
Single	34,553	27,489	26%	112,763	99,630	13%	143	114	25%	468	394	19%
Semi	2,787	0	0%	10,622	5,653	88%	13	0	0%	58	41	41%
Row	0	1,912	-100%	18,242	9,401	94%	0	17	-100%	123	76	62%
Apartment	13,630	29,876	-54%	43,004	74,436	-42%	6	9	-33%	16	21	-24%
Alterations/Additions/Demos	13,507	9,732	39%	33,264	42,173	-21%	330	373	-12%	1,121	796	41%
Total, Residential	64,476	69,009	-7%	217,895	231,293	-6%	492	513	-4%	1,786	1,328	34%
Non-Residential												
Alterations/Additions/Demos	93,004	28,039	232%	194,365	136,815	42%	273	199	37%	836	796	5%
Commercial	5,009	1,595	214%	11,624	8,976	29%	5	6	-17%	13	11	18%
Industrial	2,490	4,180	-40%	51,785	16,132	221%	4	3	33%	16	15	7%
Office	62,500	0	0%	115,093	3,580	3115%	1	0	0%	6	2	200%
Hotel/Motel	22,250	0	0%	22,250	0	0%	2	0	0%	2	0	0%
Public Buildings/Theatres	1,800	100	1700%	12,551	3,100	305%	1	2	-50%	6	5	20%
Institutional	3,500	2,307	52%	15,960	11,947	34%	1	2	-50%	3	4	-25%
Total, Non-Residential	190,553	36,221	426%	423,627	180,549	135%	287	212	35%	882	833	6%
Total	255,029	105,230	142%	641,521	411,842	56%	779	725	7%	2,668	2,161	23%

■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	3,385	17,001	18,717	17,307	56,353	112,763
Semi	385	0	4,396	2,608	3,233	10,622
Row	7,851	0	2,420	3,880	4,091	18,242
Apartment	28,170	1,360	3,500	1,200	8,774	43,004
Alterations/Additions/Demos	11,997	3,809	6,878	2,778	7,803	33,264
Total, Residential	51,788	22,170	35,911	27,772	80,254	217,895
Non-Residential						
Alterations/Additions/Demos	46,482	22,424	98,804	5,929	20,725	194,365
Commercial	1,495	2,100	3,400	9	4,620	11,624
Industrial	0	66	4,355	0	47,364	51,785
Office	66,400	0	48,693	0	0	115,093
Hotel/Motel	0	15,400	0	0	6,850	22,250
Public Buildings/Theatres	0	0	10,200	26	2,325	12,551
Institutional	0	15,960	0	0	0	15,960
Total, Non-Residential	114,377	55,950	165,451	5,965	81,884	423,627
Total, 2016	166,165	78,120	201,362	33,737	162,138	641,521
Total, 2015	64,733	68,853	62,332	89,219	126,705	411,842
Change	157%	13%	223%	-62%	28%	56%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2016	2015	Change	2016	2015	Change	2016	2015	Change	2016	2015	Change
City Centre	97,475	20,161	383%	166,165	64,733	157%	159	130	22%	534	427	25%
Assiniboia	34,540	15,883	117%	78,120	68,853	13%	125	98	28%	512	320	60%
Lord Selkirk-West Kildonan	71,097	14,108	404%	201,362	62,332	223%	138	111	24%	472	340	39%
East Kildonan-Transcona	10,957	9,903	11%	33,737	89,219	-62%	127	74	72%	411	290	42%
Riel	40,960	45,174	-9%	162,138	126,705	28%	230	312	-26%	739	784	-6%
Total	255,029	105,230	142%	641,521	411,842	56%	779	725	7%	2,668	2,161	23%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2015	Change	Single	Semi	Row	Apt	Total	% of Total	2015	Change
City Centre	3	2	0	47	52	26%	2	2500%	14	2	54	56	126	15%	8	1475%
Assiniboia	23	0	0	0	23	11%	3	667%	62	0	0	0	62	8%	148	-58%
Lord Selkirk-West Kildonan	31	3	0	0	34	17%	35	-3%	88	27	17	18	150	18%	155	-3%
East Kildonan-Transcona	25	8	0	0	33	16%	20	65%	85	14	23	0	122	15%	150	-19%
Riel	58	2	0	0	60	30%	347	-83%	215	18	34	89	356	44%	596	-40%
Total	140	15	0	47	202	100%	407	-50%	464	61	128	163	816	100%	1,057	-23%
% of Total	69%	7%	0%	23%	100%				57%	7%	16%	20%	100%			
Total, 2015	114	0	17	276	407				394	40	73	550	1,057			
Change	23%	0%	-100%	-83%	-50%				18%	53%	75%	-70%	-23%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2016	13	2	0	0	15	43	5	0	0	48
% of Total	87%	13%	0%	0%	100%	90%	10%	0%	0%	100%
Total, 2015	15	0	1	0	16	43	6	2	23	74
Change	-13%	0%	-100%	0%	-6%	0%	-17%	-100%	-100%	-35%

Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION		VALUE (\$)
99 Murray Park RD	Interior Alteration	Industrial	649,266
1188 Dakota ST	Partial Permit-Foundation	Community Centre	1,800,000
560 Academy RD	Interior and Exterior Alterations	Office Multi-tenant	500,000
670 Hugo ST	Construct New	Apartments	11,070,000
20 El Tassi DR	Partial Permit-Foundation	Apartments	600,000
10 El Tassi DR	Partial Permit-Foundation	Apartments	600,000
1515 Main ST	Construct New	Retail Store	1,800,000
55 Garry ST	Structural Alteration	Apartments	2,659,590
25 Bunting ST	Partial Permit-Foundation	Warehouse	600,000
1010 Sinclair ST	Interior Alteration	Personal Care Facility	696,958
311 Portage AVE	Interior and Exterior Alterations	Restaurants	1,200,000
242 Hargrave ST	Partial Permit-Foundation	Office Multi-use	62,500,000
830 King Edward ST	Interior Alteration	Industrial	650,000
1485 Niakwa RD	Construct New	Hotel	6,850,000
2077 Pembina HWY	Alter Exterior	Strip Mall	2,494,203
485 Sterling Lyon PKY	Partial Permit-Foundation	Auto Dealership	1,400,000
445 Hargrave ST	Construct New	Hydro Substation	1,800,000
35 Albert ST	Alter Exterior	Parkade - above ground	650,000
400 Kennedy ST	Structural Alteration	Apartments	1,007,173
165 Aberdeen AVE	Construct Addition	Nursing Home	53,182,600
330 St Mary AVE	Alter Exterior	Office	7,500,000
780 Bannatyne AVE	Interior and Exterior Alterations	University / College	591,546
545 Bannatyne AVE	Fire Repair	Apartments	1,500,000
185 Smith ST	Interior Alteration	Apartments	1,894,574
650 Camiel Sys ST	Interior Alteration	Office	8,500,000
144 Dysart RD	Interior Alteration	University / College	604,937
45 Chancellors CIR	Interior Alteration	University / College	650,000
980 St Anne's RD	Construct New	Commercial	1,500,000
711 Sterling Lyon PKY	Partial Permit-Foundation	Apartments	635,000
707 Sterling Lyon PKY	Partial Permit-Foundation	Apartments	725,000
1500 Regent AVE	Alter Exterior	Commercial	939,912
1845 Pembina HWY	Interior and Exterior Alterations	Retail Store	4,000,000
1485 Portage AVE	Structural Alteration	Shopping Centre	1,087,839
300 Booth DR	Partial Permit-Foundation	Hospital	3,500,000
3199 Grant AVE	Construct New	Misc. Structure	516,950
495 Sterling Lyon PKY	Construct New	Hotels	15,400,000