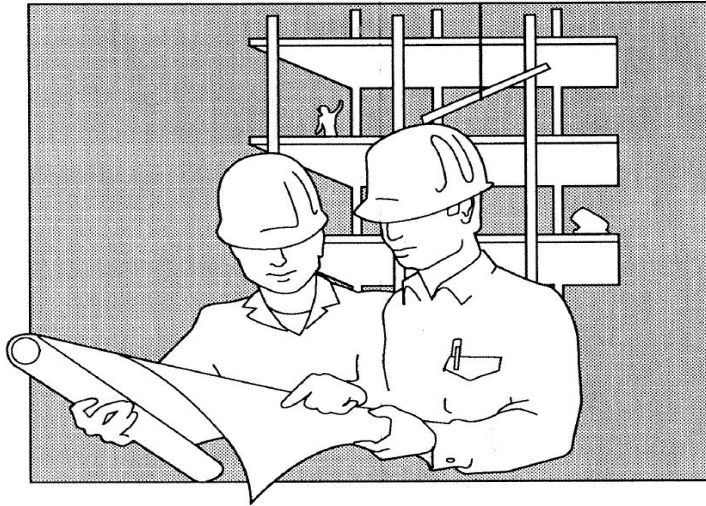


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

July 2016

This Month At A Glance:

Number of permits issued

Residential -----	728
Non-Residential -----	334
Total -----	1,062
Compared to this month last year -----	+21%

Value of permits issued

Residential -----	\$103,590,908
Non-Residential -----	\$83,235,054
Total -----	\$186,825,963
Compared to this month last year -----	+66%

Dwelling Units

Constructed -----	621
Demolished -----	29

BUILDING TYPE ANALYSIS

Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2016	2015	Change	2016	2015	Change	2016	2015	Change	2016	2015	Change
Residential												
Single	45,476	25,717	77%	221,169	179,165	23%	182	116	57%	907	747	21%
Semi	1,882	6,355	-70%	17,094	20,419	-16%	12	40	-70%	97	141	-31%
Row	17,964	2,561	601%	48,399	24,411	98%	95	38	150%	277	189	47%
Apartment	25,260	18,514	36%	128,504	136,943	-6%	10	6	67%	40	37	8%
Alterations/Additions/Demos	13,009	15,781	-18%	72,515	88,252	-18%	429	396	8%	2,683	2,099	28%
Total, Residential	103,591	68,927	50%	487,681	449,189	9%	728	596	22%	4,004	3,213	25%
Non-Residential												
Alterations/Additions/Demos	66,565	21,837	205%	343,252	215,373	59%	320	271	18%	1,702	1,548	10%
Commercial	3,835	3,400	13%	24,857	13,728	81%	6	4	50%	34	19	79%
Industrial	4,042	3,154	28%	57,755	19,394	198%	3	4	-25%	26	22	18%
Office	150	0	0%	120,443	8,530	1312%	1	0	0%	10	3	233%
Hotel/Motel	0	0	0%	22,250	0	0%	0	0	0%	2	0	0%
Public Buildings/Theatres	1,515	0	0%	19,736	4,450	343%	1	0	0%	8	6	33%
Institutional	7,129	15,000	-52%	51,062	68,627	-26%	3	1	200%	16	11	45%
Total, Non-Residential	83,235	43,391	92%	639,356	330,101	94%	334	280	19%	1,798	1,609	12%
Total	186,826	112,318	66%	1,127,037	779,291	45%	1062	876	21%	5,802	4,822	20%

Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	9,530	30,173	41,659	33,349	106,458	221,169
Semi	385	0	7,365	3,235	6,110	17,094
Row	9,061	400	13,414	10,680	14,844	48,399
Apartment	39,540	42,630	11,880	25,680	8,774	128,504
Alterations/Additions/Demos	24,793	9,331	12,216	8,164	18,011	72,515
Total, Residential	83,308	82,534	86,534	81,108	154,197	487,681
Non-Residential						
Alterations/Additions/Demos	81,165	62,769	142,057	19,096	38,167	343,252
Commercial	4,150	5,245	6,595	23	8,845	24,857
Industrial	0	206	8,405	1,780	47,364	57,755
Office	71,750	0	48,693	0	0	120,443
Hotel/Motel	0	15,400	0	0	6,850	22,250
Public Buildings/Theatres	0	0	10,200	26	9,510	19,736
Institutional	5,261	36,777	0	2,160	6,865	51,062
Total, Non-Residential	162,325	120,396	215,949	23,085	117,600	639,356
Total, 2016	245,633	202,930	302,483	104,193	271,797	1,127,037
Total, 2015	144,893	102,224	125,161	133,246	273,766	779,291
Change	70%	99%	142%	-22%	-1%	45%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2016	2015	Change	2016	2015	Change	2016	2015	Change	2016	2015	Change
City Centre	38,499	18,560	107%	245,633	144,893	70%	210	180	17%	1,102	961	15%
Assiniboia	43,705	10,718	308%	202,930	102,224	99%	146	137	7%	983	728	35%
Lord Selkirk-West Kildonan	27,551	19,975	38%	302,483	125,161	142%	209	157	33%	1,050	811	29%
East Kildonan-Transcona	34,259	9,618	256%	104,193	133,246	-22%	184	123	50%	1,046	655	60%
Riel	42,811	53,447	-20%	271,797	273,766	-1%	313	279	12%	1,621	1,667	-3%
Total	186,826	112,318	66%	1,127,037	779,291	45%	1062	876	21%	5,802	4,822	20%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2015	Change	Single	Semi	Row	Apt	Total	% of Total	2015	Change
City Centre	9	0	16	55	80	13%	32	153%	33	2	70	141	246	11%	165	49%
Assiniboia	18	0	0	128	146	24%	20	635%	106	0	16	404	526	23%	205	157%
Lord Selkirk-West Kildonan	54	4	0	0	58	9%	52	12%	189	43	64	35	331	14%	304	9%
East Kildonan-Transcona	31	4	40	139	214	34%	27	693%	163	20	63	331	577	25%	352	64%
Riel	68	4	51	0	123	20%	160	-23%	401	34	85	89	609	27%	906	-32%
Total	180	12	107	322	621	100%	291	113%	892	99	298	1,000	2,289	100%	1,932	18%
% of Total	29%	2%	17%	52%	100%				39%	4%	13%	44%	100%			
Total, 2015	114	42	19	116	291				741	142	158	891	1,932			
Change	58%	-71%	463%	178%	113%				20%	-30%	89%	12%	18%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2016	24	4	1	0	29	101	9	4	0	114
% of Total	83%	14%	3%	0%	100%	89%	8%	4%	0%	100%
Total, 2015	7	0	0	0	7	93	12	2	23	130
Change	243%	0%	0%	0%	314%	9%	-25%	100%	-100%	-12%

■ Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION	VALUE (\$)
994 Keewatin ST	Construct Addition Restaurants	750,000
1049 Notre Dame AVE	Interior and Exterior Alterations Restaurants	750,000
2130 Notre Dame AVE	Alter Exterior Multi-Tenant Office/Ware	500,000
1385 McPhillips ST	Construct New Commercial Multi-tenant	570,000
366 Wardlaw AVE	Construct New Apartments	900,000
362 Wardlaw AVE	Construct New Apartments	900,000
1385 McPhillips ST	Partial Permit-Struct. Frame Commercial Multi-tenant	1,330,000
60 Hurst WAY	Interior and Exterior Alterations Public Utility	11,588,000
528 Hudson ST	Interior and Exterior Alterations Apartments	723,362
2475 Portage AVE	Interior and Exterior Alterations Restaurants	525,000
423 Main ST	Interior Alteration Office	2,487,582
10 El Tassi DR	Construct New Apartments	3,600,000
20 El Tassi DR	Construct New Apartments	3,600,000
700 William AVE	Interior Alteration Hospital	723,000
2000 Wellington AVE	Install Storage tanks - above gr	522,700
1377 McPhillips ST	Construct New Restaurants	900,000
1579 McCreary RD	Partial Permit-Foundation SFD & Att. Gar.	2,000,000
1269 Lee BLVD	Partial Permit-Foundation School	6,210,800
710 Grey ST	Interior and Exterior Alterations Apartments	900,000
720 Grey ST	Interior and Exterior Alterations Apartments	900,000
200 Arlington ST	Partial Permit-Foundation Apartments	1,200,000
755 North DR	Partial Permit-Foundation Apartments	1,300,000
1555 Regent AVE	Construct Addition Shopping Centre	9,400,000
1406 Ellice AVE	Interior and Exterior Alterations Restaurants	500,000
14 Fultz BLVD	Interior Alteration Office	600,000
104 Rose Lake CRT	Construct New SFD & Att. Gar.	670,000
1440 Ellice AVE	Interior and Exterior Alterations Restaurants	750,000
447 Webb PL	Interior and Exterior Alterations University / College	765,809
1485 Portage AVE	Structural Alteration Shopping Centre	778,871
300 Booth DR	Construct Addition Hospital	21,000,000
601 Washington AVE	Interior and Exterior Alterations Warehouse	540,000
291 Ashland AVE	Construct New SFD	550,000
315 Campbell ST	Construct New SFD	550,000
983 Kilkenny DR	Construct New SFD & Att. Gar.	700,000
272 Main ST	Change of Use Apartments	3,300,000
1120 Pacific AVE	Partial Permit-Foundation Industrial	1,600,000
1120 Pacific AVE	Construct New Industrial	2,400,000
570 Stradbrook AVE	Construct New Apartments	6,150,000
1195 Archibald ST	Partial Permit-Foundation Library	1,514,600
711 Sterling Lyon PKY	Construct New Apartments	3,570,000
707 Sterling Lyon PKY	Construct New Apartments	3,870,000