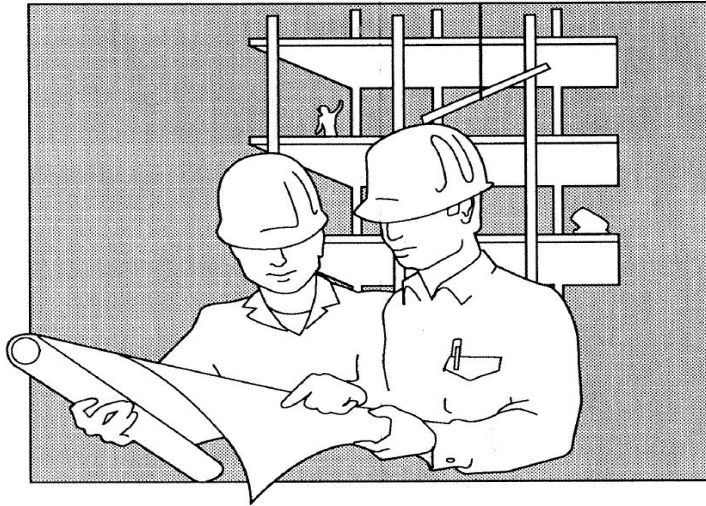


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

February 2017

This Month At A Glance:

Number of permits issued

Residential -----	383
Non-Residential -----	243
Total -----	626
Compared to this month last year -----	+4%

Value of permits issued

Residential -----	\$59,185,536
Non-Residential -----	\$115,510,037
Total -----	\$174,695,573
Compared to this month last year -----	+63%

Dwelling Units

Constructed -----	341
Demolished -----	14

BUILDING TYPE ANALYSIS

■ Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
Residential												
Single	38,312	24,099	59%	86,409	45,940	88%	168	102	65%	353	194	82%
Semi	6,600	1,687	291%	8,739	4,629	89%	36	11	227%	50	29	72%
Row	1,450	5,040	-71%	18,486	8,431	119%	3	35	-91%	118	52	127%
Apartment	9,978	6,750	48%	83,054	26,050	219%	8	3	167%	28	8	250%
Alterations/Additions/Demos	2,845	6,593	-57%	18,309	11,304	62%	168	282	-40%	380	500	-24%
Total, Residential	59,186	44,170	34%	214,996	96,354	123%	383	433	-12%	929	783	19%
Non-Residential												
Alterations/Additions/Demos	27,930	23,832	17%	59,779	49,546	21%	233	160	46%	498	343	45%
Commercial	11,811	0	10958%	16,341	5,080	222%	5	1	400%	8	6	33%
Industrial	419	28,831	-99%	5,150	49,245	-90%	3	5	-40%	9	11	-18%
Office	75,000	100	4900%	75,000	1,100	6718%	1	1	0%	1	2	-50%
Hotel/Motel	0	0	0%	0	0	0%	0	0	0%	1	0	0%
Public Buildings/Theatres	0	10,200	-100%	1,136	10,200	-89%	0	1	-100%	1	1	0%
Institutional	350	0	0%	350	0	0%	1	0	0%	1	0	0%
Total, Non-Residential	115,510	62,963	83%	157,756	115,171	37%	243	168	45%	519	363	43%
Total	174,696	107,133	63%	372,752	211,525	76%	626	601	4%	1,448	1,146	26%

■ Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	2,411	17,341	14,385	9,619	42,653	86,409
Semi	0	0	1,362	7,186	191	8,739
Row	1,000	0	600	0	16,886	18,486
Apartment	16,784	381	9,790	8,000	48,098	83,054
Alterations/Additions/Demos	3,162	11,783	431	867	2,066	18,309
Total, Residential	23,357	29,505	26,567	25,672	109,895	214,996
Non-Residential						
Alterations/Additions/Demos	6,259	14,294	23,209	6,085	9,932	59,779
Commercial	20	15,181	0	900	240	16,341
Industrial	250	3,596	825	478	0	5,150
Office	75,000	0	0	0	0	75,000
Hotel/Motel	0	0	0	0	0	0
Public Buildings/Theatres	0	0	0	0	1,136	1,136
Institutional	0	0	0	0	350	350
Total, Non-Residential	81,529	33,071	24,034	7,464	11,658	157,756
Total, 2017	104,886	62,577	50,602	33,135	121,553	372,752
Total, 2016	45,489	15,105	43,784	12,973	94,174	211,525
Change	131%	314%	16%	155%	29%	76%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	85,797	18,217	371%	104,886	45,489	131%	108	79	37%	222	198	12%
Assiniboia	23,837	7,001	240%	62,577	15,105	314%	120	197	-39%	265	275	-4%
Lord Selkirk-West Kildonan	23,101	25,447	-9%	50,602	43,784	16%	111	118	-6%	220	225	-2%
East Kildonan-Transcona	13,973	6,877	103%	33,135	12,973	155%	105	79	33%	197	145	36%
Riel	27,988	49,591	-44%	121,553	94,174	29%	182	128	42%	544	303	80%
Total	174,696	107,133	63%	372,752	211,525	76%	626	601	4%	1,448	1,146	26%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	7	0	0	60	67	20%	3	2133%	11	0	0	120	131	9%	20	555%
Assiniboia	22	0	0	64	86	25%	11	682%	70	0	0	142	212	15%	21	910%
Lord Selkirk-West Kildonan	34	6	0	0	40	12%	50	-20%	60	9	4	178	251	18%	75	235%
East Kildonan-Transcona	29	30	0	0	59	17%	21	181%	43	40	0	52	135	10%	38	255%
Riel	74	0	3	12	89	26%	138	-35%	166	2	109	403	680	48%	203	235%
Total	166	36	3	136	341	100%	223	53%	350	51	113	895	1,409	100%	357	295%
% of Total	49%	11%	1%	40%	100%				25%	4%	8%	64%	100%			
Total, 2016	102	12	23	86	223				193	30	39	95	357			
Change	63%	200%	-87%	58%	53%				81%	70%	190%	842%	295%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2017	14	0	0	0	14	27	2	0	0	29
% of Total	100%	0%	0%	0%	100%	93%	7%	0%	0%	100%
Total, 2016	8	1	0	0	9	20	1	0	0	21
Change	75%	-100%	0%	0%	56%	35%	100%	0%	0%	38%

Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION	VALUE (\$)
824 St Mary's RD	Construct New Apartments	700,000
28 Willow Brook RD	Partial Permit-Foundation SFD & Att. Gar.	612,535
53 East Plains DR	Construct New SFD & Att. Gar.	525,000
242 Hargrave ST	Partial Permit-Struct. Frame Office Multi-use	75,000,000
1385 McPhillips ST	Interior Alteration Restaurants	500,000
485 Sterling Lyon PKY	Partial Permit-Struct. Frame Auto Dealership	4,200,000
1080 Grant AVE	Interior and Exterior Alterations Gym / Auditoria	900,000
30 Sifton RD	Interior Alteration University / College	710,000
2080 Burrows AVE	Interior and Exterior Alterations Public Utility	547,209
2000 Wellington AVE	Interior Alteration Airport Terminal	535,000
836 Arlington ST	Interior and Exterior Alterations Church	550,000
555 Sterling Lyon PKY	Interior Alteration Retail Store	610,350
485 Sterling Lyon PKY	Construct New Auto Dealership	4,200,000
611 Pepperloaf CRES	Construct New SFD & Att. Gar.	750,000
759 North DR	Partial Permit-Foundation Row Housing	500,000
761 North DR	Partial Permit-Foundation Row Housing	500,000
25 Ancaster GATE	Partial Permit-Struct. Frame Apartments	3,600,000
113 St Anne's RD	Construct New Residential Multi-Use	900,000
109 James AVE	Interior Alteration Station	600,000
200 Arlington ST	Construct New Apartments	3,884,494
1014 St Mary's RD	Interior Alteration Medical Office	750,000
444 Adsum DR	Construct Addition Public Pool	6,861,800
845 Concordia AVE	Interior and Exterior Alterations School	677,757
753 McDermot AVE	Interior and Exterior Alterations University / College	3,250,000
2251 Ness AVE	Construct New Gas Service Store	3,391,000

How To Use the Winnipeg Building Permit Summary Statistics

This permit data is updated on a monthly basis. The statistics included in the accompanying tables are based on the building permits issued by the City of Winnipeg's Planning, Property and Development (PPD) Department.

NUMBER OF PERMITS ISSUED

Permit counts include all permits issued. In many cases, more than one type of permit must be issued for the same building or project. For example, in the case of a new commercial or multi-unit residential building, there may be three permits issued (one related to the foundation, one for the structural framing, and another for the superstructure).

VALUES

The "values" included in all tables are expressed in thousands of dollars and are based on construction value estimates as declared by permit applicants.

DWELLING UNITS

In the "Construction of Dwelling Units" table, dwelling unit counts are based on permits issued by the Planning, Property and Development Department. This is not the same as housing starts. Housing

starts statistics published by Canada Mortgage and Housing are based on physical construction activity as observed by that agency. In the case of multi-unit residential projects involving partial permits, the dwelling units are not counted until the last major permit (usually the superstructure permit) has been issued.



HOW TO CONTACT US

The Planning, Property and Development Department is located in the Fort Garry Place Complex at 30 Fort Street (behind the Fort Garry Hotel). If you have questions about this summary or any of our services, please call our Customer Services Telephone Line at: 311 or email us at: ppd-help@winnipeg.ca