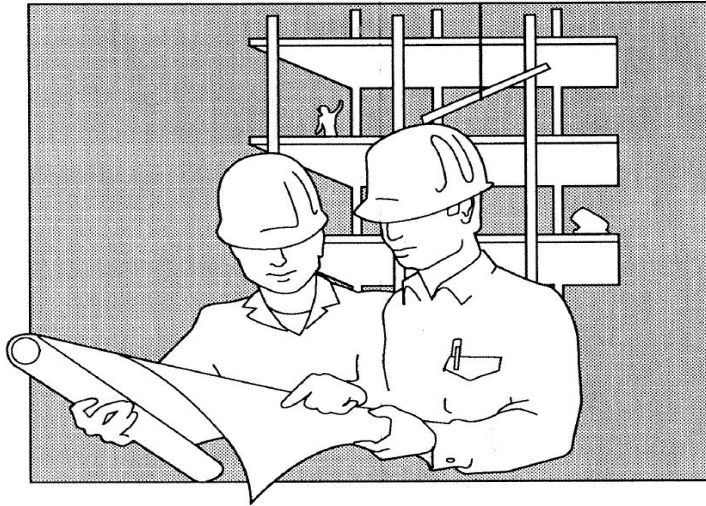


# WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND  
DEVELOPMENT DEPARTMENT

## March 2017

### This Month At A Glance:

#### *Number of permits issued*

Residential -----	510
Non-Residential -----	364
Total -----	874
Compared to this month last year -----	+18%

#### *Value of permits issued*

Residential -----	\$69,596,217
Non-Residential -----	\$45,813,371
Total -----	\$115,409,588
Compared to this month last year -----	-34%

#### *Dwelling Units*

Constructed -----	273
Demolished -----	15

# BUILDING TYPE ANALYSIS

## Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
<b>Residential</b>												
Single	49,323	32,270	53%	135,731	78,210	74%	171	131	31%	524	325	61%
Semi	7,399	3,206	131%	16,137	7,835	106%	41	16	156%	91	45	102%
Row	3,001	9,811	-69%	21,487	18,242	18%	31	71	-56%	149	123	21%
Apartment	3,780	3,324	14%	86,834	29,374	196%	4	2	100%	32	10	220%
Alterations/Additions/Demos	6,094	8,454	-28%	24,403	19,758	24%	263	291	-10%	643	791	-19%
<b>Total, Residential</b>	<b>69,596</b>	<b>57,064</b>	<b>22%</b>	<b>284,593</b>	<b>153,418</b>	<b>86%</b>	<b>510</b>	<b>511</b>	<b>0%</b>	<b>1,439</b>	<b>1,294</b>	<b>11%</b>
<b>Non-Residential</b>												
Alterations/Additions/Demos	34,279	51,815	-34%	94,059	101,361	-7%	343	220	56%	841	563	49%
Commercial	9,625	1,535	527%	25,966	6,615	293%	12	2	500%	20	8	150%
Industrial	1,209	50	2326%	6,359	49,295	-87%	5	1	400%	14	12	17%
Office	0	51,493	-100%	75,000	52,593	43%	2	3	-33%	3	5	-40%
Hotel/Motel	200	0	0%	200	0	0%	1	0	0%	2	0	0%
Public Buildings/Theatres	500	551	-9%	1,636	10,751	-85%	1	4	-75%	2	5	-60%
Institutional	0	12,460	-100%	350	12,460	-97%	0	2	-100%	1	2	-50%
<b>Total, Non-Residential</b>	<b>45,813</b>	<b>117,903</b>	<b>-61%</b>	<b>203,569</b>	<b>233,074</b>	<b>-13%</b>	<b>364</b>	<b>232</b>	<b>57%</b>	<b>883</b>	<b>595</b>	<b>48%</b>
<b>Total</b>	<b>115,410</b>	<b>174,967</b>	<b>-34%</b>	<b>488,162</b>	<b>386,492</b>	<b>26%</b>	<b>874</b>	<b>743</b>	<b>18%</b>	<b>2,322</b>	<b>1,889</b>	<b>23%</b>

## Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
<b>Residential</b>						
Single	4,566	24,400	22,947	15,877	67,942	135,731
Semi	0	0	5,796	9,911	431	16,137
Row	1,825	0	1,075	0	18,587	21,487
Apartment	18,164	381	9,790	8,000	50,498	86,834
Alterations/Additions/Demos	5,168	13,300	862	1,489	3,584	24,403
<b>Total, Residential</b>	<b>29,724</b>	<b>38,081</b>	<b>40,469</b>	<b>35,277</b>	<b>141,042</b>	<b>284,593</b>
<b>Non-Residential</b>						
Alterations/Additions/Demos	9,579	27,670	36,401	8,171	12,238	94,059
Commercial	1,670	15,181	5,975	900	2,240	25,966
Industrial	750	3,726	825	868	189	6,359
Office	75,000	0	0	0	0	75,000
Hotel/Motel	0	0	0	200	0	200
Public Buildings/Theatres	0	0	0	500	1,136	1,636
Institutional	0	0	0	0	350	350
<b>Total, Non-Residential</b>	<b>86,999</b>	<b>46,578</b>	<b>43,201</b>	<b>10,639</b>	<b>16,152</b>	<b>203,569</b>
<b>Total, 2017</b>	<b>116,723</b>	<b>84,659</b>	<b>83,670</b>	<b>45,916</b>	<b>157,194</b>	<b>488,162</b>
<b>Total, 2016</b>	<b>68,690</b>	<b>43,580</b>	<b>130,265</b>	<b>22,780</b>	<b>121,178</b>	<b>386,492</b>
<b>Change</b>	<b>70%</b>	<b>94%</b>	<b>-36%</b>	<b>102%</b>	<b>30%</b>	<b>26%</b>

# COMMUNITY ANALYSIS

## ■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	11,837	23,201	-49%	116,723	68,690	70%	130	177	-27%	352	375	-6%
Assiniboia	22,082	28,475	-22%	84,659	43,580	94%	192	112	71%	457	387	18%
Lord Selkirk-West Kildonan	33,068	86,481	-62%	83,670	130,265	-36%	169	109	55%	389	334	16%
East Kildonan-Transcona	12,781	9,806	30%	45,916	22,780	102%	125	139	-10%	322	284	13%
Riel	35,642	27,003	32%	157,194	121,178	30%	258	206	25%	802	509	58%
<b>Total</b>	<b>115,410</b>	<b>174,967</b>	<b>-34%</b>	<b>488,162</b>	<b>386,492</b>	<b>26%</b>	<b>874</b>	<b>743</b>	<b>18%</b>	<b>2,322</b>	<b>1,889</b>	<b>23%</b>

## ■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	6	0	6	12	24	9%	54	-56%	17	0	6	132	155	9%	74	109%
Assiniboia	21	0	0	0	21	8%	18	17%	91	0	0	142	233	14%	39	497%
Lord Selkirk-West Kildonan	33	25	5	0	63	23%	41	54%	93	34	9	178	314	19%	116	171%
East Kildonan-Transcona	26	17	0	0	43	16%	51	-16%	69	57	0	52	178	11%	89	100%
Riel	84	2	20	16	122	45%	93	31%	250	4	129	419	802	48%	296	171%
<b>Total</b>	<b>170</b>	<b>44</b>	<b>31</b>	<b>28</b>	<b>273</b>	<b>100%</b>	<b>257</b>	<b>6%</b>	<b>520</b>	<b>95</b>	<b>144</b>	<b>923</b>	<b>1,682</b>	<b>100%</b>	<b>614</b>	<b>174%</b>
% of Total	62%	16%	11%	10%	100%				31%	6%	9%	55%	100%			
Total, 2016	131	16	89	21	257				324	46	128	116	614			
Change	30%	175%	-65%	33%	6%				60%	107%	13%	696%	174%			

## ■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
<b>Total, 2017</b>	14	1	0	0	15	41	3	0	0	44
% of Total	93%	7%	0%	0%	100%	93%	7%	0%	0%	100%
Total, 2016	10	2	0	0	12	30	3	0	0	33
Change	40%	-50%	0%	0%	25%	37%	0%	0%	0%	33%

## ■ Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION	VALUE (\$)
43 Northern Lights DR	Construct New SFD & Att. Gar.	550,000
211 Commerce DR	Interior and Exterior Alterations Office	800,000
1555 Regent AVE	Interior Alteration Retail Store	500,000
850 Cambridge ST	Alter Exterior Apartments	541,480
125 Cherrywood RD	Construct New SFD & Att. Gar.	1,253,000
40 Philip Lee DR	Construct New Recreation Bldg	500,000
68 Irene ST	Partial Permit-Foundation Industrial	500,000
25 Poseidon BAY	Interior Alteration Public Pool	500,571
23 Chaikoski CRT	Construct New SFD & Att. Gar.	500,000
55 Waterford Green COMMO	Construct New Commercial	560,000
55 Waterford Green COMMO	Construct New Commercial	560,000
55 Waterford Green COMMO	Construct New Commercial	560,000
220 Portage AVE	Interior Alteration Office	885,000
40 Willow Brook RD	Construct New SFD & Att. Gar.	900,000
55 Waterford Green COMMO	Construct New Commercial	1,005,000
55 Waterford Green COMMO	Construct New Commercial	1,865,000
220 Portage AVE	Interior Alteration Office	2,100,000
201 Portage AVE	Interior Alteration Office	2,286,268
532 Ellice AVE	Interior and Exterior Alterations Office	700,000
666 Kildonan DR	Construct New SFD & Att. Gar.	650,000
31 Chaikoski CRT	Construct New SFD & Att. Gar.	570,000
555 Sterling Lyon PKY	Interior Alteration Retail Store	500,000
49 Bow Water DR	Construct New SFD	500,000
191 Tennant GATE	Construct New SFD & Att. Gar.	500,000
555 Sterling Lyon PKY	Interior Alteration Retail Store	505,000
324 Park BLVD	Construct New SFD & Att. Gar.	700,000
555 Sterling Lyon PKY	Interior Alteration Retail Store	750,000
30 Renfrew ST	Construct New SFD & Att. Gar.	500,000
366 Beaverbrook ST	Construct New SFD & Att. Gar.	550,000
555 Sterling Lyon PKY	Interior Alteration Shopping Centre	839,650
693 McMillan AVE	Construct New Apartments	1,380,000
2840 Pembina HWY	Construct New Bank	2,000,000
220 Portage AVE	Interior Alteration Office	3,068,280
257 Osborne ST	Construct New Commercial Multi-use	1,650,000
855 Elizabeth RD	Construct New Apartments	1,500,000
555 Sterling Lyon PKY	Interior Alteration Shopping Centre	544,144
55 Curry PL	Interior Alteration University / College	1,000,000
790 Sherbrook ST	Construct Addition Medical Office	3,043,282
42 Ike Kraut PL	Construct New SFD & Att. Gar.	502,530
1936 St Mary's RD	Partial Permit-Foundation Apartments	900,000
1001 Sherwin RD	Construct Addition Office	1,800,000