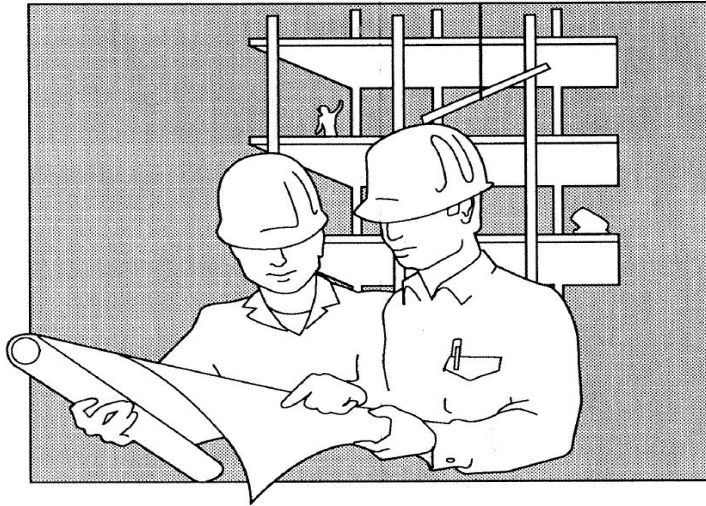


WINNIPEG BUILDING PERMITS SUMMARY



PLANNING, PROPERTY AND
DEVELOPMENT DEPARTMENT

May 2017

This Month At A Glance:

Number of permits issued

Residential -----	888
Non-Residential -----	326
Total -----	1,214
Compared to this month last year -----	+28%

Value of permits issued

Residential -----	\$111,284,840
Non-Residential -----	\$45,908,891
Total -----	\$157,193,732
Compared to this month last year -----	+6%

Dwelling Units

Constructed -----	497
Demolished -----	21

BUILDING TYPE ANALYSIS

Permit Activity by Building Type

BUILDING TYPE	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
Residential												
Single	61,360	30,252	103%	242,046	143,015	69%	232	130	78%	930	598	56%
Semi	7,680	2,144	258%	27,407	12,766	115%	42	16	163%	161	74	118%
Row	4,157	12,194	-66%	28,220	30,436	-7%	29	59	-51%	197	182	8%
Apartment	15,020	18,010	-17%	132,854	61,014	118%	5	5	0%	39	21	86%
Alterations/Additions/Demos	23,067	12,944	78%	52,478	46,208	14%	580	479	21%	1,503	1,600	-6%
Total, Residential	111,285	75,544	47%	483,005	293,439	65%	888	689	29%	2,830	2,475	14%
Non-Residential												
Alterations/Additions/Demos	25,659	47,988	-47%	147,241	242,353	-39%	316	238	33%	1,495	1,074	39%
Commercial	3,200	3,760	-15%	30,518	15,384	98%	3	8	-63%	26	21	24%
Industrial	3,600	1,778	102%	16,414	53,563	-69%	1	4	-75%	17	20	-15%
Office	1,500	5,200	-71%	76,500	120,293	-36%	1	2	-50%	5	8	-38%
Hotel/Motel	0	0	0%	200	22,250	-99%	1	0	0%	3	2	50%
Public Buildings/Theatres	11,600	5,670	105%	13,236	18,221	-27%	3	1	200%	5	7	-29%
Institutional	350	7,760	-95%	700	23,720	-97%	1	4	-75%	2	7	-71%
Total, Non-Residential	45,909	72,156	-36%	284,808	495,783	-43%	326	257	27%	1,553	1,139	36%
Total	157,194	147,700	6%	767,813	789,222	-3%	1214	946	28%	4,383	3,614	21%

Permit Value by Building Type and Community

BUILDING TYPE	YEAR TO DATE VALUE IN \$000					
	CITY CENTRE	ASSINIBOIA	LORD SELKIRK- WEST KILDONAN	EAST KILDONAN- TRANSCONA	RIEL	TOTAL CITY
Residential						
Single	7,991	38,275	39,252	32,665	123,863	242,046
Semi	0	0	13,200	11,888	2,320	27,407
Row	2,325	0	4,481	900	20,514	28,220
Apartment	21,185	381	9,790	16,500	84,998	132,854
Alterations/Additions/Demos	19,318	15,886	3,010	4,372	9,892	52,478
Total, Residential	50,819	54,543	69,732	66,325	241,586	483,005
Non-Residential						
Alterations/Additions/Demos	33,772	32,455	47,476	12,113	21,425	147,241
Commercial	2,972	15,181	6,025	2,400	3,940	30,518
Industrial	4,905	3,726	6,725	868	189	16,414
Office	75,000	0	0	0	1,500	76,500
Hotel/Motel	0	0	0	200	0	200
Public Buildings/Theatres	0	11,600	0	500	1,136	13,236
Institutional	0	0	0	0	700	700
Total, Non-Residential	116,648	62,962	60,226	16,082	28,890	284,808
Total, 2017	167,468	117,505	129,958	82,407	270,476	767,813
Total, 2016	183,765	106,532	255,363	43,678	199,884	789,222
Change	-9%	10%	-49%	89%	35%	-3%

COMMUNITY ANALYSIS

■ Permit Activity by Community

COMMUNITY	VALUE IN \$000						NUMBER OF PERMITS ISSUED					
	MONTH			YEAR TO DATE			MONTH			YEAR TO DATE		
	2017	2016	Change	2017	2016	Change	2017	2016	Change	2017	2016	Change
City Centre	34,825	17,600	98%	167,468	183,765	-9%	223	158	41%	690	692	0%
Assiniboia	21,338	28,412	-25%	117,505	106,532	10%	185	145	28%	843	657	28%
Lord Selkirk-West Kildonan	23,980	54,002	-56%	129,958	255,363	-49%	218	181	20%	778	653	19%
East Kildonan-Transcona	17,855	9,941	80%	82,407	43,678	89%	192	186	3%	619	597	4%
Riel	59,196	37,746	57%	270,476	199,884	35%	396	276	43%	1,453	1,015	43%
Total	157,194	147,700	6%	767,813	789,222	-3%	1214	946	28%	4,383	3,614	21%

■ Construction of Residential Dwelling Units

COMMUNITY	MONTH								YEAR TO DATE							
	Single	Semi	Row	Apt	Total	% of Total	2016	Change	Single	Semi	Row	Apt	Total	% of Total	2016	Change
City Centre	10	0	4	77	91	18%	4	2175%	29	0	10	144	183	7%	130	91%
Assiniboia	23	0	0	0	23	5%	177	-87%	137	0	0	142	279	11%	239	17%
Lord Selkirk-West Kildonan	37	30	8	0	75	15%	79	-5%	164	75	30	178	447	18%	229	95%
East Kildonan-Transcona	44	8	6	0	58	12%	24	142%	138	73	6	104	321	13%	146	120%
Riel	117	8	13	112	250	50%	72	247%	457	22	148	633	1,260	51%	432	192%
Total	231	46	31	189	497	100%	356	40%	925	170	194	1,201	2,490	100%	1,176	112%
% of Total	46%	9%	6%	38%	100%				37%	7%	8%	48%	100%			
Total, 2016	125	14	63	158	360				589	75	191	321	1,176			
Change	85%	229%	-51%	20%	38%				57%	127%	2%	274%	112%			

■ Demolition of Residential Dwelling Units

SUMMARY	MONTH					YEAR TO DATE				
	SINGLE	SEMI	ROW	APT	TOTAL	SINGLE	SEMI	ROW	APT	TOTAL
Total, 2017	21	0	0	0	21	76	3	0	0	79
% of Total	100%	0%	0%	0%	100%	96%	4%	0%	0%	100%
Total, 2016	15	0	3	0	18	58	5	3	0	66
Change	40%	0%	-100%	0%	17%	31%	-40%	-100%	0%	20%

Major Projects

ADDRESS	BUILDING PERMIT DESCRIPTION		VALUE (\$)
19 Hill Grove PT	Construct New	SFD & Att. Gar.	521,543
30 Ike Kraut PL	Construct New	SFD & Att. Gar.	605,010
283 Portage AVE	Interior Alteration	Apartments	4,000,000
444 St Mary AVE	Interior Alteration	Office	500,000
1914 Henderson HWY	Partial Permit-Foundation	Apartments	500,000
167 Montrose ST	Construct New	SFD	500,000
52 Willow Brook RD	Construct New	SFD & Att. Gar.	515,970
2211 McPhillips ST	Alter Exterior	Shopping Centre	1,015,704
1060 Chevrier BLVD	Construct New	Apartments	1,820,326
1799 Kenaston BLVD	Construct New	Warehouse Store	3,600,000
238 Portage AVE	Interior Alteration	Medical Office	1,000,000
350 North Town RD	Construct New	Commercial	1,700,000
6 Wildflower WAY	Construct New	SFD & Att. Gar.	500,000
457 Main ST	Structural Alteration	Office	700,000
1936 St Mary's RD	Construct New	Apartments	7,900,000
51 Kingston ROW	Construct New	SFD & Att. Gar.	500,000
44 Willow Brook RD	Construct New	SFD & Att. Gar.	590,500
600 McGee ST	Interior Alteration	Apartments	600,000
144 Rose Lake CRT	Construct New	SFD & Att. Gar.	1,200,000
375 Assiniboine AVE	Interior and Exterior Alterations	Apartments	5,365,000
52 Creekside RD	Construct New	SFD & Att. Gar.	548,150
42 Camira WAY	Construct New	SFD & Att. Gar.	610,000
1399 McPhillips ST	Interior and Exterior Alterations	Shopping Centre	950,000
276 Niagara ST	Construct New	SFD & Att. Gar.	650,000
300 Memorial BLVD	Interior and Exterior Alterations	Art Gallery	5,000,000
159 Thomas Berry ST	Change of Use	Row Housing	1,007,250
156 Thomas Berry ST	Interior and Exterior Alterations	Row Housing	1,007,250
977 Maginot ST	Construct New	Office	1,500,000
1399 McPhillips ST	Interior Alteration	Misc Personal Service	500,000
486 Sheppard ST	Interior and Exterior Alterations	Industrial	1,000,000
2860 Pembina HWY	Interior and Exterior Alterations	Strip Mall	1,500,000
1717 Waverley ST	Interior and Exterior Alterations	Auto Dealership	687,077
25 Ancaster GATE	Construct New	Apartments	3,600,000
1382 Charleswood RD	Construct New	SFD & Att. Gar.	535,000
140 Rose Lake CRT	Construct New	SFD & Att. Gar.	550,000
2595 Roblin BLVD	Construct New	Park Bldgs	600,000
2595 Roblin BLVD	Construct New	Park Bldgs	1,000,000
450 Broadway	Interior Alteration	Public Bldg	1,200,000
180 Roslyn RD	Partial Permit-Foundation	Apartments	1,200,000
900 Main ST	Construct Addition	Medical Office	750,000
60 Whellams LANE	Construct New	Commercial	750,000
746 Kildonan DR	Construct New	SFD & Att. Gar.	610,000
206 Kitson ST	Construct New	SFD	500,000
770 John Bruce RD	Partial Permit-Foundation	SFD	500,000
2074 De Vries AVE	Partial Permit-Foundation	Car Wash	750,000
262 Dalhousie DR	Construct Addition	School	1,216,200
145 Locomotive DR	Partial Permit-Foundation	Park Bldgs	10,000,000